

GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

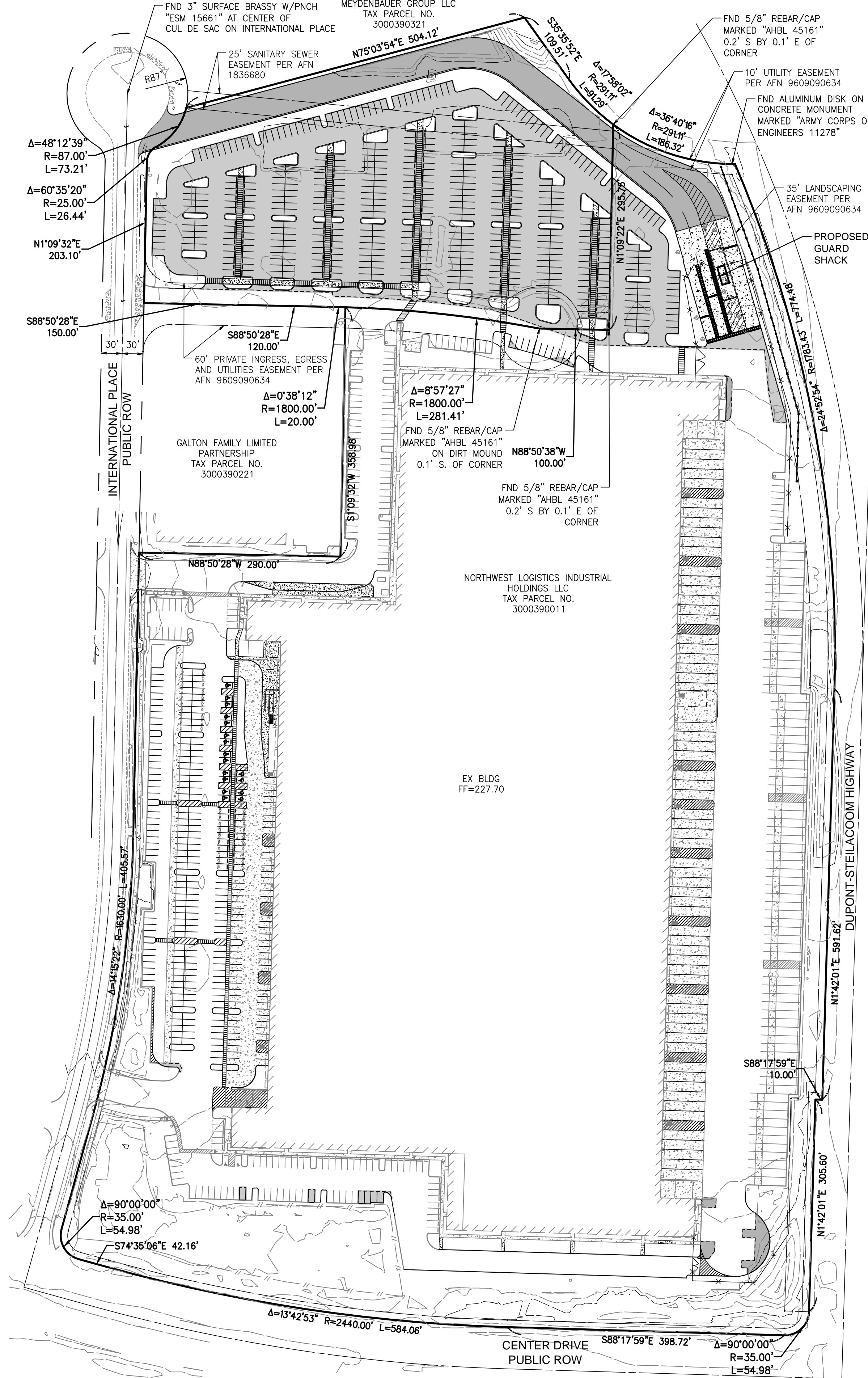
UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AT LEAST 48 HOURS PRIOR TO POTHOING. ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS ARE TO BE POTHOLED TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

MONUMENT DEMOLITION NOTE

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

PRELIMINARY COVER SHEET
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON



APPROVED FOR CONSTRUCTION

By: _____
CITY OF DUPONT

Date: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

GEOTECHNICAL REPORT NOTES:

1. THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

SOILS REPORTS: GEOTECHNICAL ENGINEERING STUDY
DUPONT TRAILER YARD
PROJECT NO: T-6897-3
DATE: MAY 12, 2020

PREPARED BY: TERRA ASSOCIATES
12220 113TH AVE NE, SUITE 130
KIRKLAND, WA 98034
(425) 821-7777
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
3. ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
4. A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
5. THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

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LEGEND:

SURVEY MONUMENT	PROPOSED TYPE II CATCH BASIN
EX. POWER VAULT	PROPOSED TYPE I CATCH BASIN
EX. LUMINAIRE (LUM.)	PROPOSED STORM DRAIN FLOW ARROW
EX. LOT LIGHT	PROPOSED STORM DRAINAGE LINE
EX. POWER POLE	PROPOSED TRENCH DRAIN
EX. JUNCTION BOX	PROPOSED SANITARY SEWER LINE
EX. CATCH BASIN (CB)	PROPOSED SANITARY SEWER CLEANOUT
EX. CATCH BASIN (CB) TYPE 2	PROPOSED WATERMAIN
EX. SANITARY SEWER MANHOLE (SSMH)	PROPOSED FIRE HYDRANT
EX. GAS METER	PROPOSED WATER VALVE
EX. GAS VALVE	PROPOSED CONCRETE BLOCKING
EX. WATER VALVE (WV)	PROPOSED 90° BEND
EX. FIRE HYDRANT (FH)	PROPOSED SPOT ELEVATIONS
MAIL BOX	EXISTING SPOT ELEVATIONS
EX. WATER METER	EXISTING CONTOURS
EX. SIGN	PROPOSED CONTOURS
EX. WATER LINE	EXISTING PAVEMENT
EX. SANITARY SEWER LINE	PROPOSED PAVEMENT
EX. STORM DRAINAGE LINE	EXISTING CONTOURS
EX. POWER UNDERGROUND	PROPOSED CONCRETE
EX. POWER OVERHEAD	
EX. METAL FENCE	
EX. WOOD FENCE	

ESTIMATED EARTHWORK QUANTITIES

CUT = 7,000 CY
FILL = 8,000 CY
NET = +1,000 CY

AREA TO BE DISTURBED = 6.93 AC

CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORTS DATED MAY 12, 2020 FOR THIS SITE PREPARED BY TERRA ASSOCIATES FOR GRADING RECOMMENDATIONS. EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING PURPOSES. CONTRACTOR SHALL PERFORM AN INDEPENDENT ANALYSIS FOR THE PURPOSES OF PREPARING THEIR BID.

DEVELOPER

PANATTONI DEVELOPMENT COMPANY
CONTACT: BRIAN MATTSON
ADDRESS: 1821 DOCK ST. SUITE 100
TACOMA, WA 98402
PHONE: (206) 838-6182
EMAIL: BMATTSON@PANATTONI.COM

CIVIL ENGINEER

BARGHAUSEN CONSULTING ENGINEERS
CONTACT: DANIEL K. BALMELLI, P.E.
ADDRESS: 18215 72ND AVENUE SOUTH
SEATTLE, WA 98101
PHONE: (425) 251-6222
EMAIL: DBALMELLI@BARGHAUSEN.COM

ARCHITECT

NELSON ARCHITECTS
CONTACT: MIKE SNYDER
ADDRESS: 1200 5TH AVE SUITE 1300
SEATTLE, WA 98101
PHONE: (206) 408-8500M
EMAIL: SNYDER@NELSONWW.COM

GEOTECHNICAL ENGINEER

TERRA ASSOCIATES
CONTACT: TED SCHEPPER
ADDRESS: 12220 113TH AVE NE, SUITE 130
KIRKLAND, WA 98034
PHONE: (425) 821-7777
EMAIL: TSCHPEPPER@TERRA-ASSOCIATES.COM

SURVEYOR

BARGHAUSEN CONSULTING ENGINEERS
CONTACT: BRIGID GILLOOLY, P.L.S.
ADDRESS: 18215 72ND AVENUE SOUTH
KENT, WA 98032
PHONE: (425) 251-6222
EMAIL: BGILLOOLY@BARGHAUSEN.COM

Title:

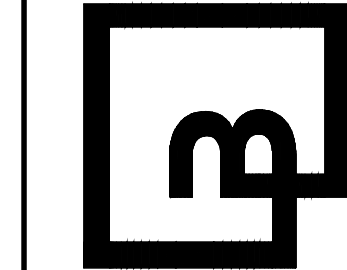
For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



Scale:
Horizontal 1"=100'
Vertical 1"=100'

Designed WED 8/5/20
Drawn WED 8/5/20
Checked LD 8/5/20
Approved DKB 8/5/20
Date 8/5/20

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent WA 98032
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barghausen.com



Job Number 21227
Sheet
C1 of 13

PRELIMINARY EXISTING CONDITIONS AND DEMO PLAN NORTH

FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE:

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

DEMOLITION SCHEDULE

- 1 REMOVE EX. ASPHALT, CONCRETE, GRAVEL SURFACE
- 2 EX. FIRE HYDRANT TO BE REMOVED AND RELOCATED
- 3 EX. SIGN TO BE REMOVED
- 4 EX. CURB TO BE REMOVED
- 5 EX. LOT LIGHT TO BE REMOVED AND RELOCATED
- 6 EX. CROSSWALK/STALL STRIPING TO BE REMOVED
- 7 EX. STORM STRUCTURES AND PIPES TO BE REMOVED
- 8 EX. WALL TO BE REMOVED
- 9 EX. SEWER STRUCTURES AND PIPES TO BE REMOVED
- 10 EX. SILT FENCE TO BE REMOVED

PRELIMINARY EXISTING CONDITIONS
AND DEMO PLAN NORTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION

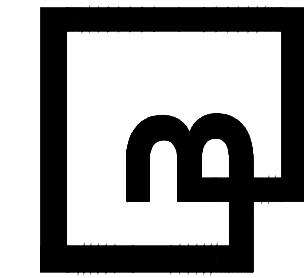
For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



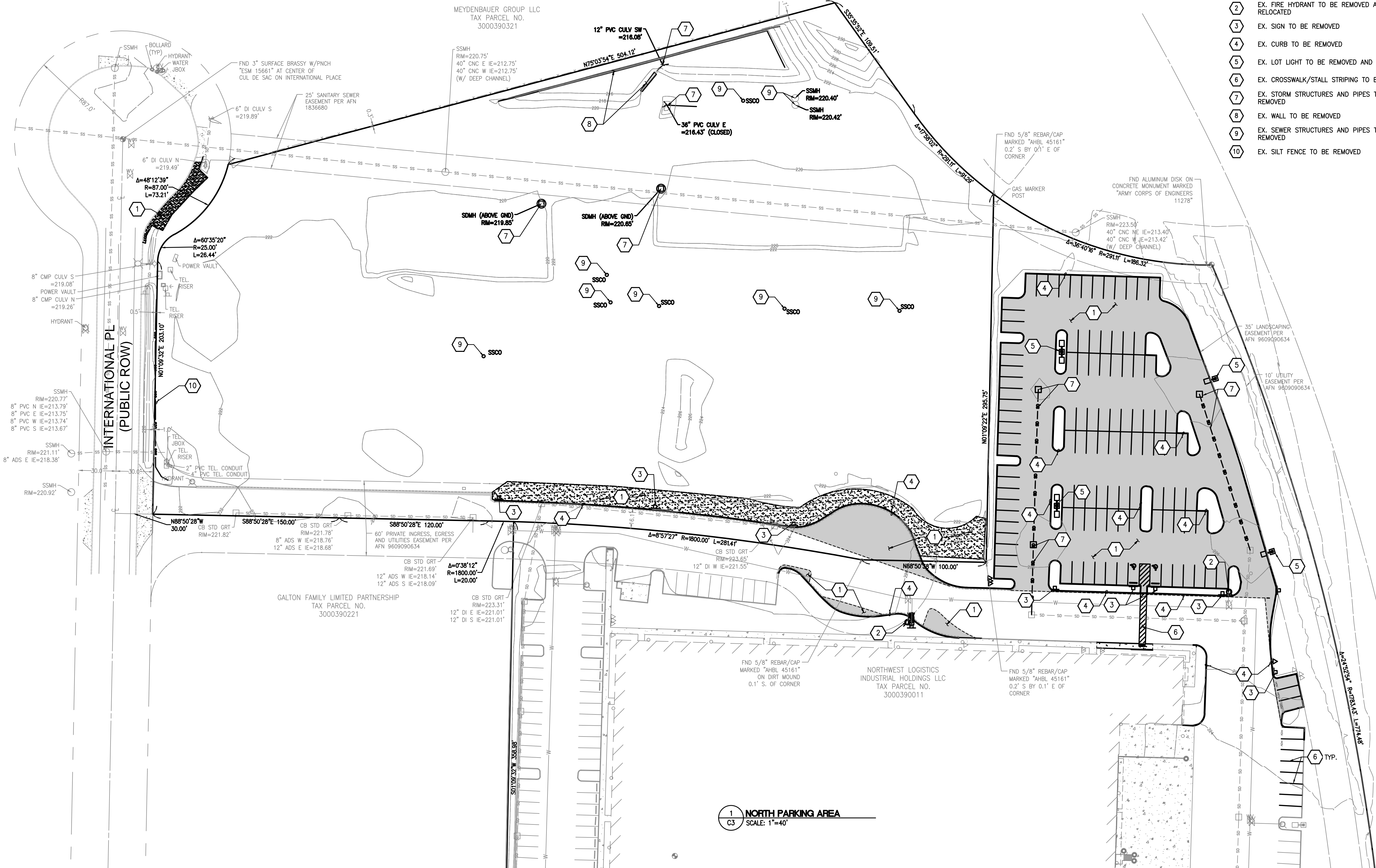
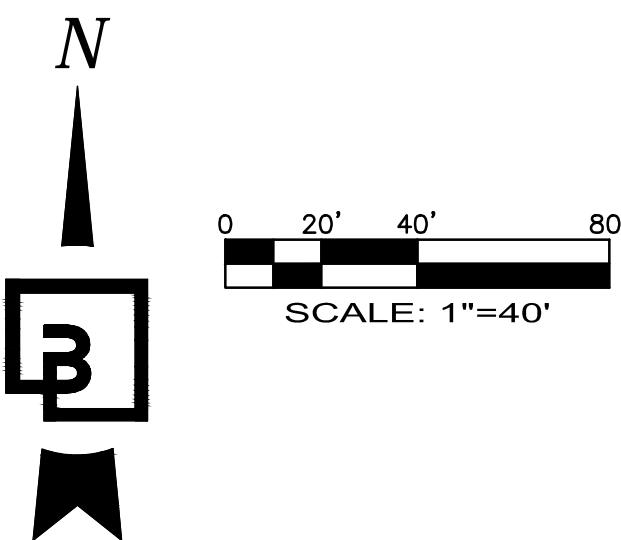
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Vertical 1"=40'

Designed: WED
Drawn: WED
Checked: LD
Approved: DKB
Date: 8/5/20

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1 NORTH PARKING AREA
C3 SCALE: 1"=40'

PREILIMINARY EXISTING CONDITIONS AND DEMO PLAN SOUTH

FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

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BY: _____
CITY OF DUPONT

DATE: _____

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DEMOLITION SCHEDULE

- 1 REMOVE EX. ASPHALT, CONCRETE, GRAVEL SURFACE
2 EX. STRIPING TO BE REMOVED
3 EX. CURB STOP TO BE REMOVED
4 EX. CURB TO BE REMOVED
5 EX. FIRE HYDRANT TO BE RELOCATED

No.	Date	By	Clk.	Appr.	Revision
1	8/5/20	WED	DKB	DKB	SITE PLAN AMENDMENT RESUBMITAL

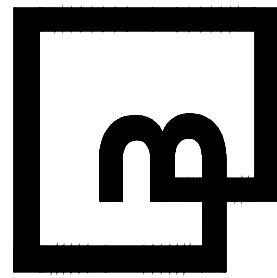
Title:

For: PANATONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



Scale:	Horizontal	Vertical
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Designed	WED	8/5/20
Drawn	WED	
Checked	LD	
Approved	DKB	
Date	8/5/20	

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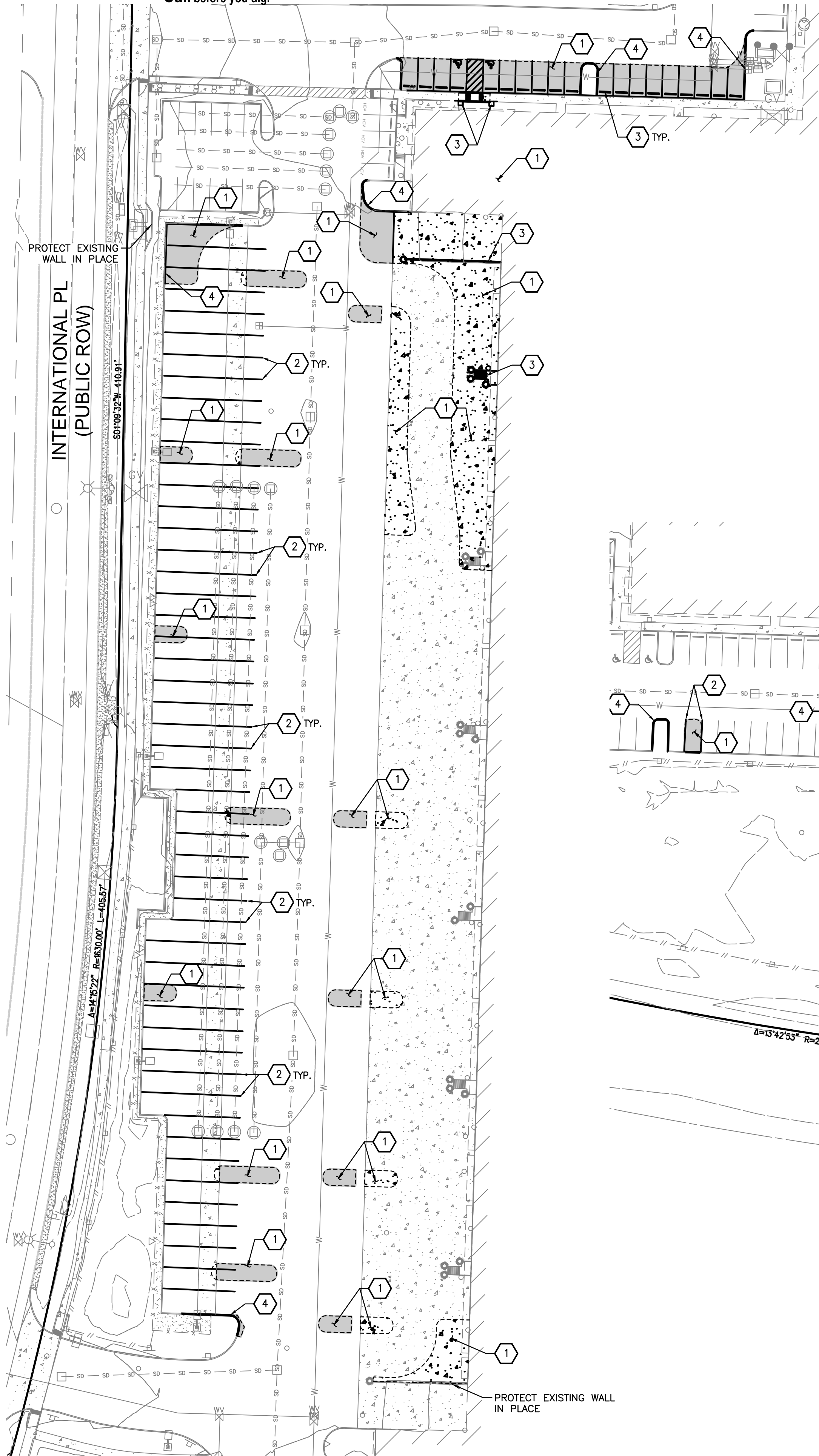
Job Number
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0 20' 40' 80'
SCALE: 1"=40'



Know what's below.
Call before you dig.



1 WEST PARKING AREA
C4 SCALE: 1"=40'

2 SOUTH PARKING AREA
C4 SCALE: 1"=40'



PRELIMINARY TESC PLAN NORTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

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BY: _____
CITY OF DUPONT

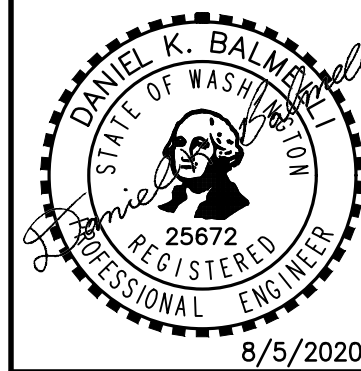
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1	8/5/20	WED	DKB	DKB	SITE PLAN AMENDMENT RESUBMITTAL
No.	Date	By	Ckd.	Appr.	Revision

Title: _____

For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



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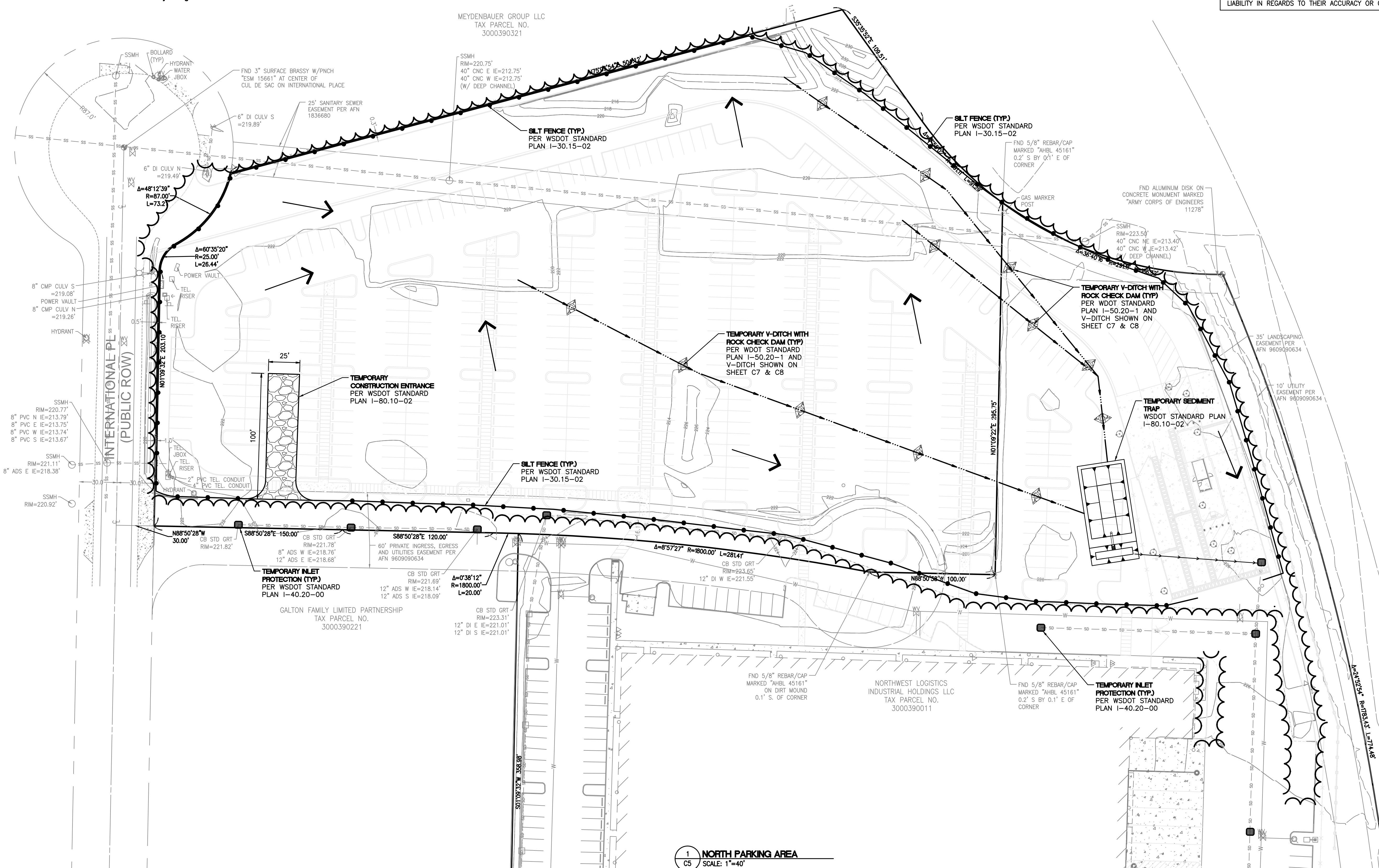
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Date	8/5/20

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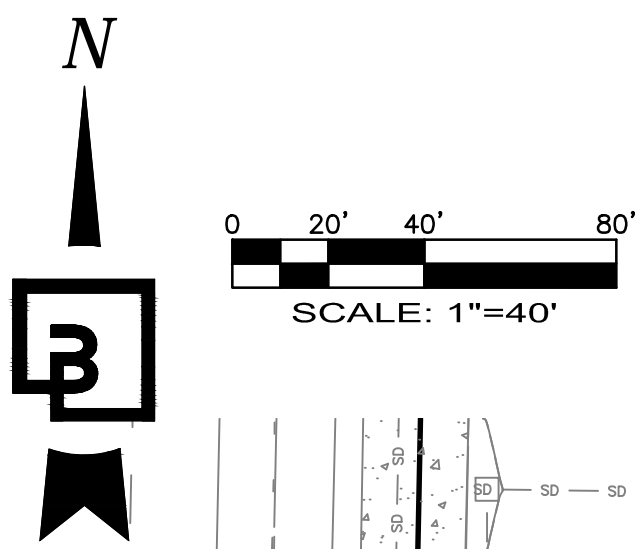


T.E.S.C. LEGEND

FLOW ARROW	
CHECK DAM	
CLEARING LIMITS	
SILT FENCE	
INTERCEPTOR DITCH	
INLET PROTECTION	

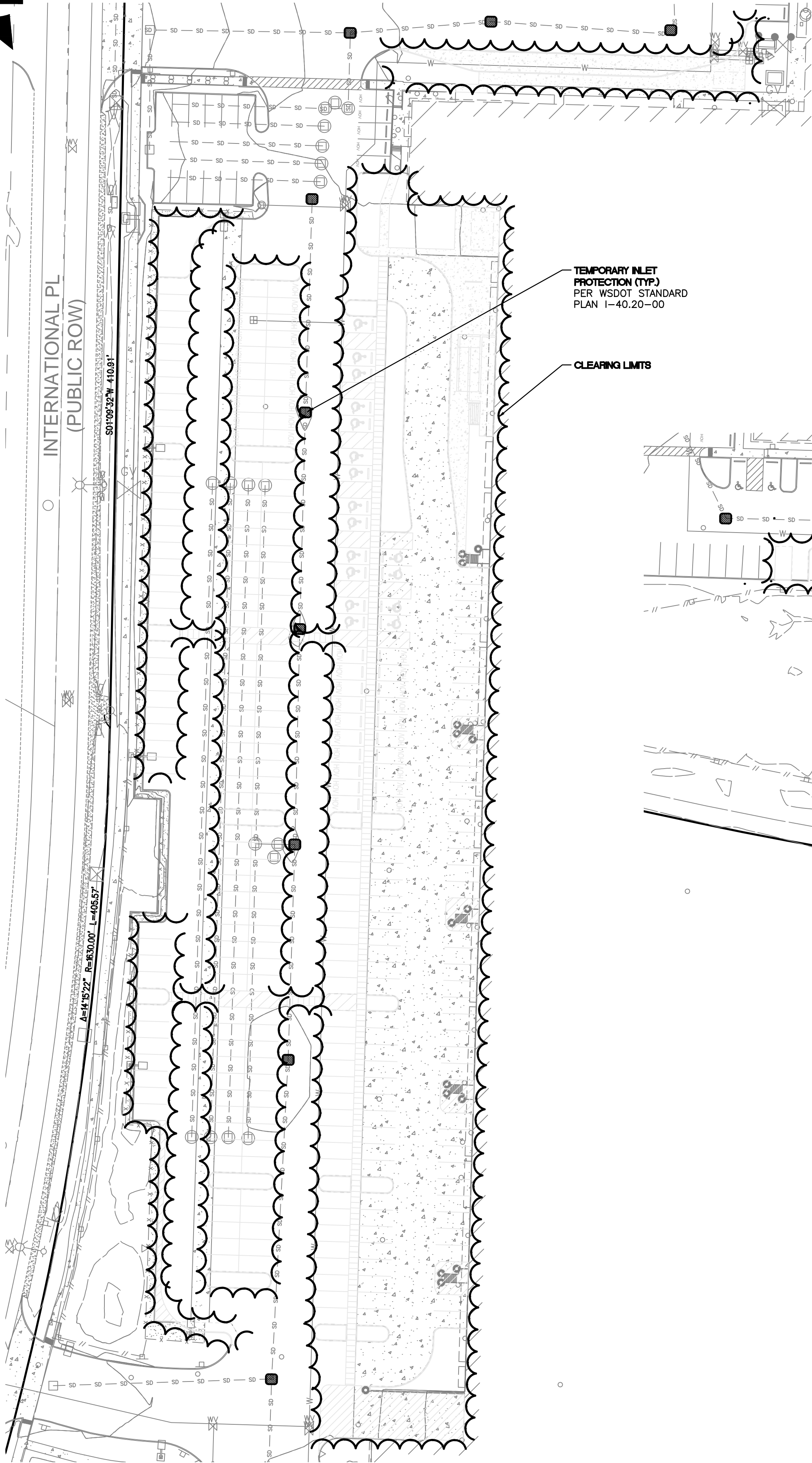
SEDIMENT TRAP SIZING:
 AREA DRAINING TO TRAP = 6.05 AC
 REQUIRED VOLUME = 6.05 AC * 35 CY/AC = 212 CY = 5,724 CF
 NORTH SEDIMENT TRAP DIMENSIONS:
 WIDTH = 50 FT
 LENGTH = 115 FT
 SIDE SLOPES = 3:1
 PROVIDED VOLUME = 5,750 CF

NOTE:
CLEARING LIMITS ARE APPROXIMATE
LIMITS OF DISTURBANCE



PRELIMINARY TESC PLAN SOUTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

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BY: _____
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1 WEST PARKING AREA
C6 SCALE: 1"=40'

2 SOUTH PARKING AREA
C6 SCALE: 1"=40'

T.E.S.C. LEGEND	
FLOW ARROW	
CHECK DAM	
CLEARING LIMITS	
SILT FENCE	
INTERCEPTOR DITCH	
INLET PROTECTION	

NOTE:
CLEARING LIMITS ARE APPROXIMATE
LIMITS OF DISTURBANCE

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1	8/5/20	WED	DKB	SITE PLAN AMENDMENT RESUBMITAL

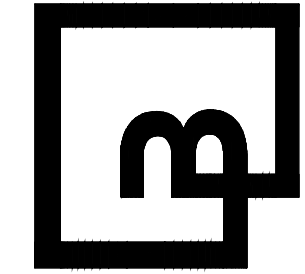
For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



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1"=40'	1"=40'	1"=40'

Designed	WED
Drawn	WED
Checked	LD
Approved	DKB
Date	8/5/20

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PRELIMINARY TESC DETAILS

FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

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Revision
1 8/5/20 WED By Date

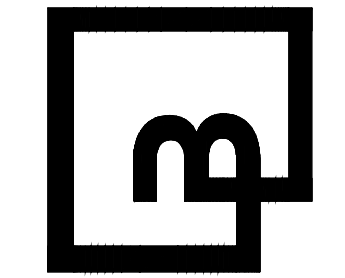
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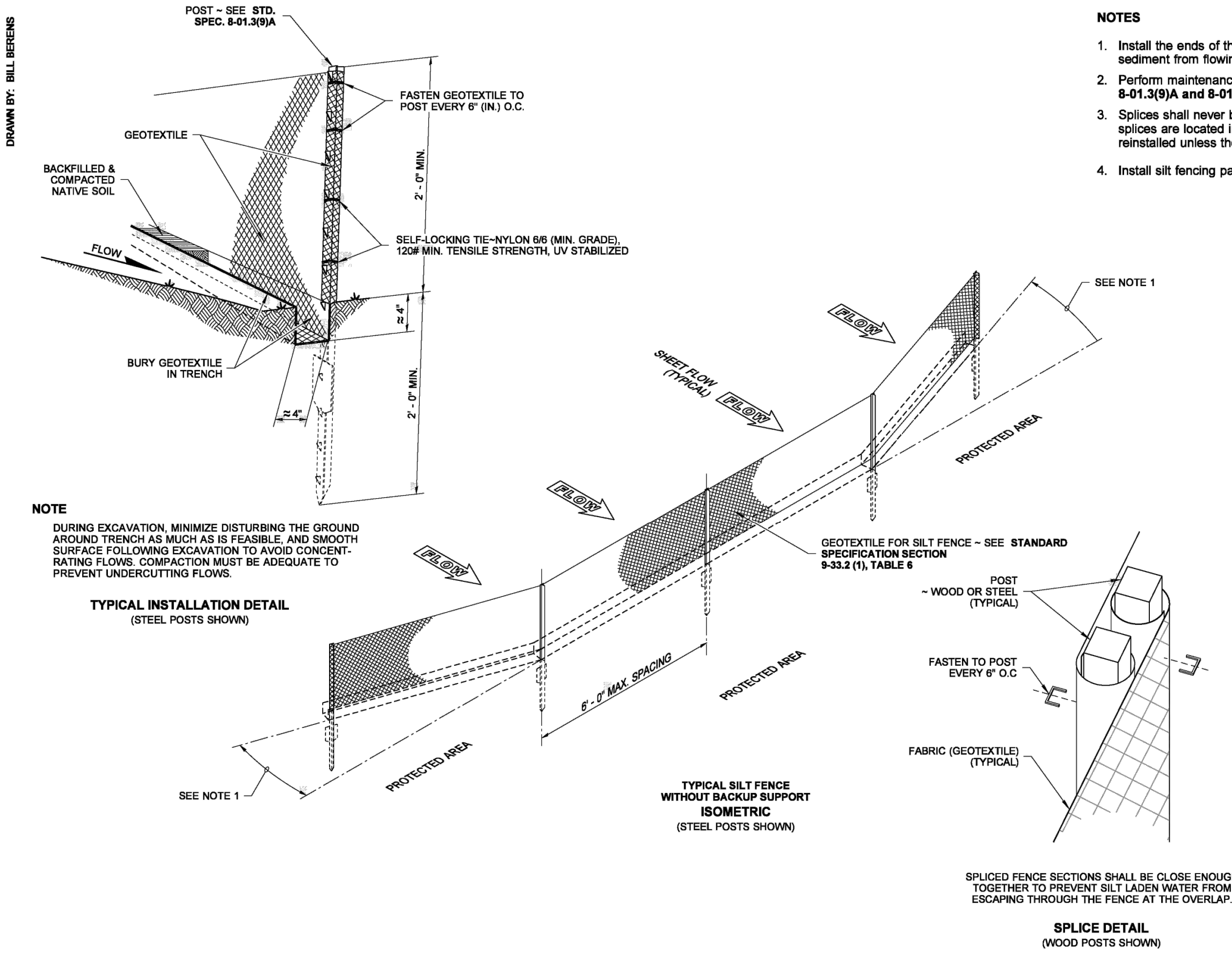


Scale: Horizontal Vertical
Designed WED Drawn WED Checked LD Approved DKB Date 8/5/20

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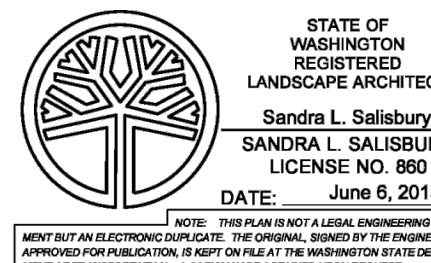
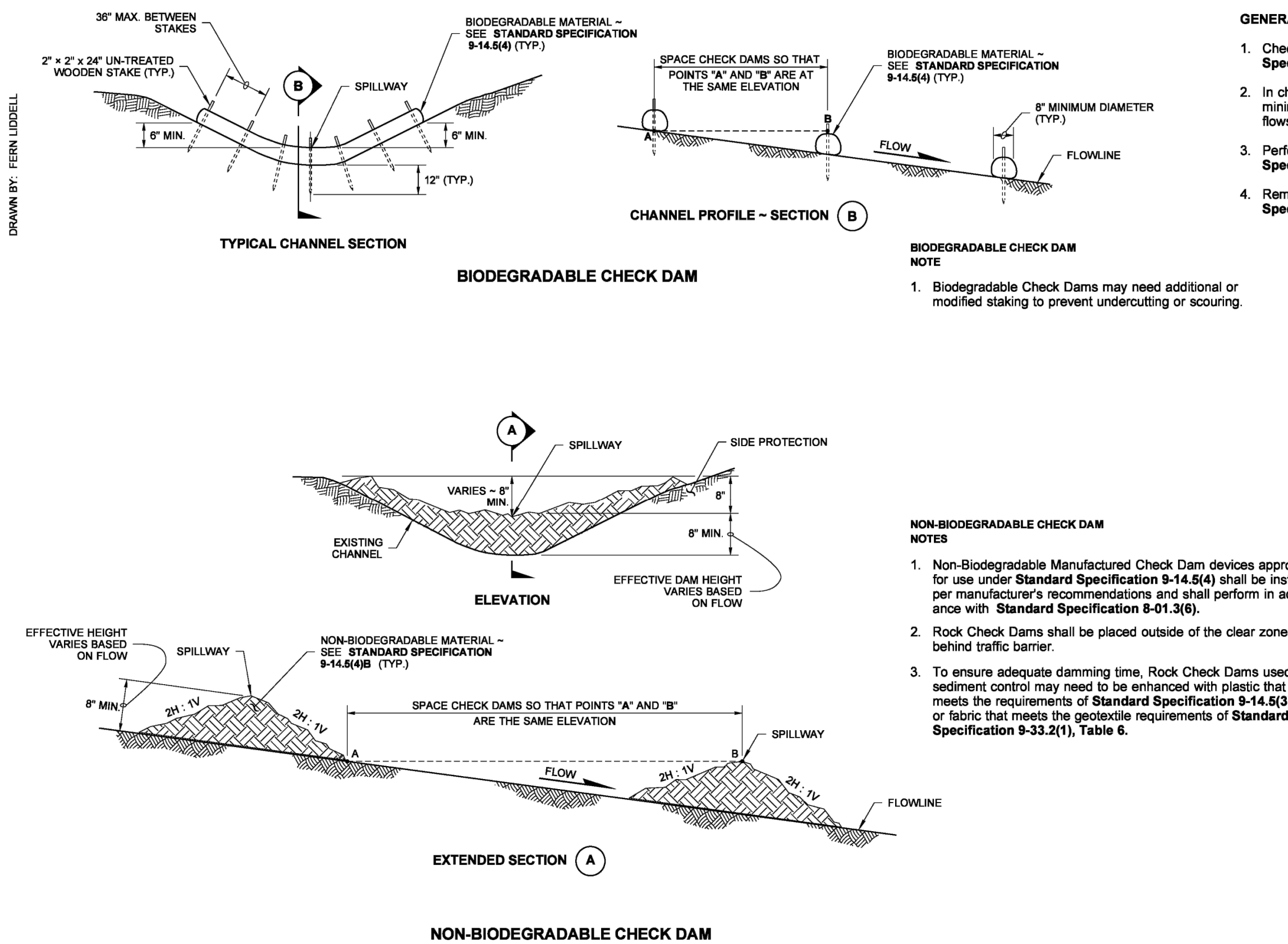
Job Number 21227
Sheet
C7 of 13



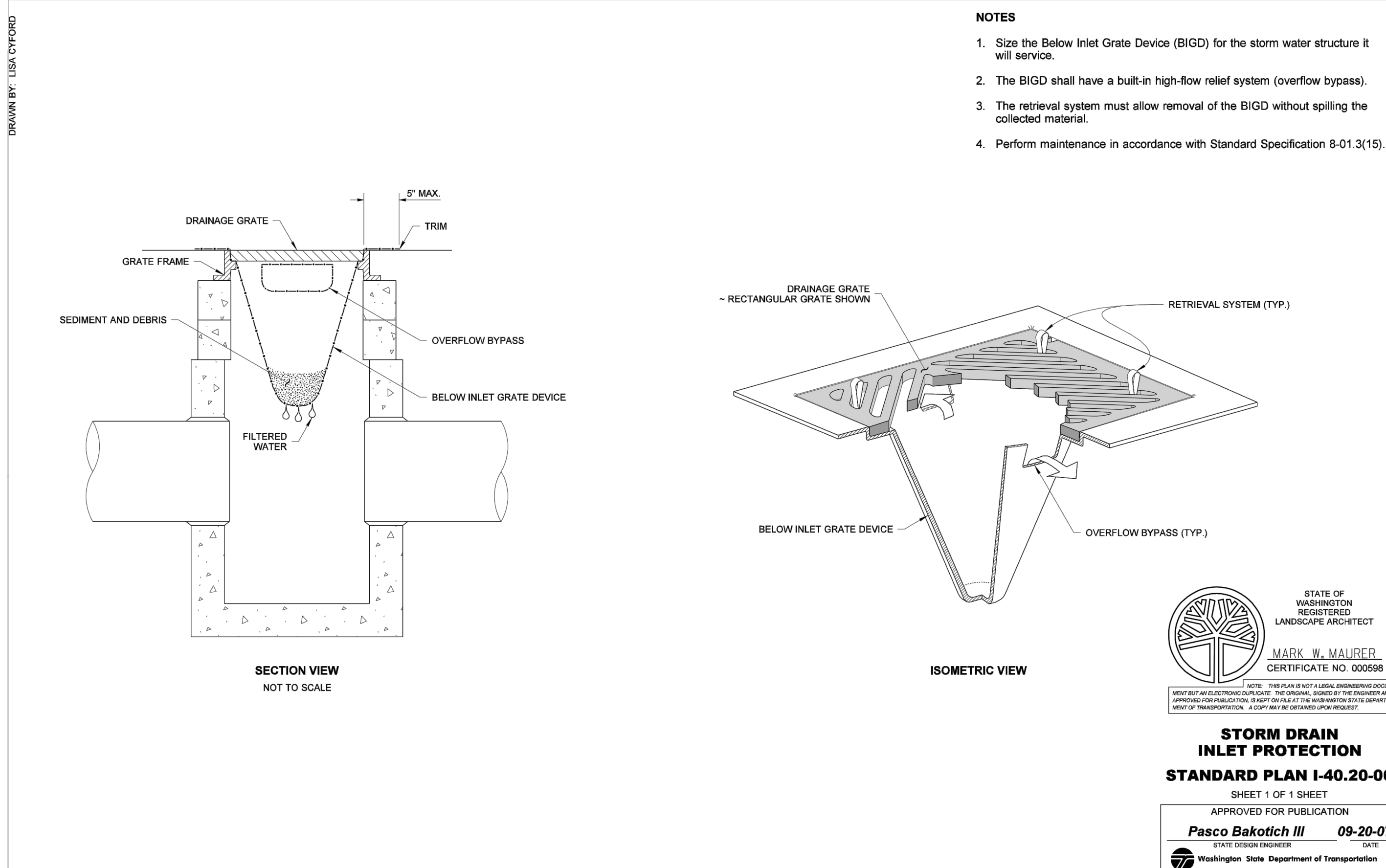
- NOTES**
1. Install the ends of the silt fence to point slightly upslope to prevent sediment from flowing around the ends of the fence.
 2. Perform maintenance in accordance with **Standard Specifications 8-01.3(9)A and 8-01.3(16)**.
 3. Splices shall never be placed in low spots or sump locations. If splices are located in low or sump areas, the fence may need to be reinstalled unless the Project Engineer approves the installation.
 4. Install silt fencing parallel to mapped contour lines.



SILT FENCE
STANDARD PLAN I-30.10-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 3/22/13
STATE DESIGN ENGINEER
Washington State Department of Transportation



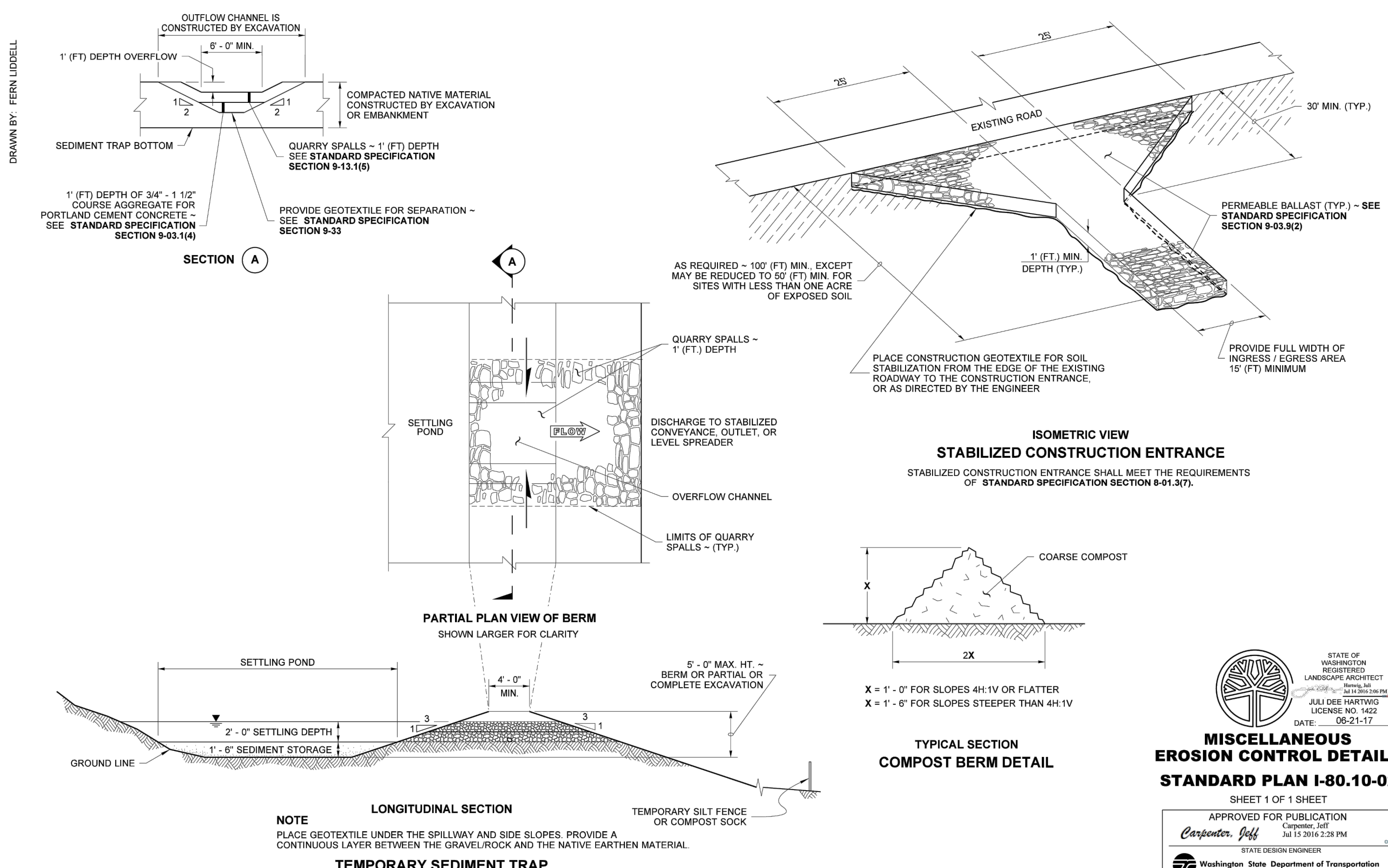
CHECK DAMS ON CHANNELS
STANDARD PLAN I-50.20-01
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 6/10/13
STATE DESIGN ENGINEER
Washington State Department of Transportation



- NOTES**
1. Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
 2. The BIGD shall have a built-in high-flow relief system (overflow bypass).
 3. The retrieval system must allow removal of the BIGD without spilling the collected material.
 4. Perform maintenance in accordance with **Standard Specification 8-01.3(15)**.



STORM DRAIN INLET PROTECTION
STANDARD PLAN I-40.20-00
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 09-20-07
STATE DESIGN ENGINEER
Washington State Department of Transportation



MISCELLANEOUS EROSION CONTROL DETAILS
STANDARD PLAN I-80.10-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 6/10/13
STATE DESIGN ENGINEER
Washington State Department of Transportation



PRELIMINARY TESC NOTES AND DETAILS
FOR
NW LOGISTICS 2 - PARKING EXPANSION
 PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
 CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

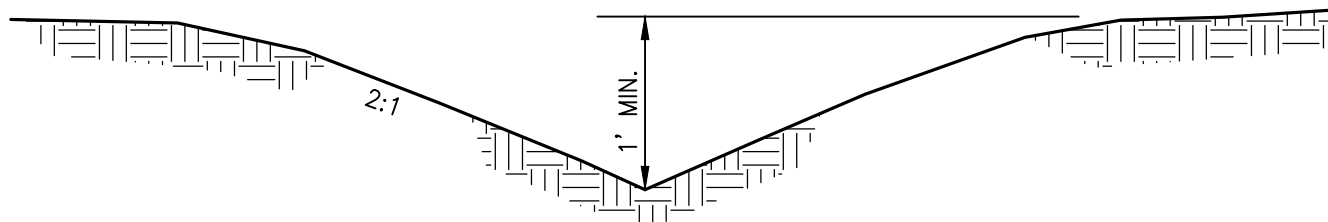
BY: _____
CITY OF DUPONT

DATE: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

GRADING, EROSION AND SEDIMENTATION CONTROL NOTES:

1. ON-SITE INSPECTIONS ARE REQUIRED AT THE FOLLOWING CONSTRUCTION STAGES:
 - INSPECTION NO. 1: INSTALLATION OF EROSION CONTROL FACILITIES PRIOR TO CLEARING
 - INSPECTION NO. 2: COMPLETION OF CLEARING
 - INSPECTION NO. 3: UPON COMPLETION OF EXCAVATION, FILLING, AND EARTHWORK
 - INSPECTION NO. 4: COMPLETION OF PROJECT
 - INSPECTION NO. 5: AS NEEDED TO DETERMINE COMPLIANCE WITH APPROVED PLANS AND/OR SPECIFICATIONS
2. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
3. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES, AND PROTECTIVE MEASURES FOR CRITICAL AREAS AND SIGNIFICANT TREES SHALL BE INSTALLED PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITIES.
4. ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LOADED WATER DOES NOT ENTER ANY EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL COMPLY WITH AN SATISFACTORY CONDITION AS DETERMINED BY THE CITY. UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ONSITE EROSION HAS PASSED, THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
5. THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, THERE SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THEIR ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
6. ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 7 DAYS OR MORE DURING THE DRY SEASON (MAY 1 – SEP 30) OR 2 DAYS OR MORE IN THE WET SEASON (OCT 1 – APR 30), SHALL BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF MARCH THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT SHALL BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
7. IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE AND THE OWNER/CONTRACTOR SHALL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
8. NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.



TEMPORARY "V" DITCH

NOT TO SCALE

CONSTRUCTION SEQUENCE

1. SCHEDULE AND ATTEND PRE-CONSTRUCTION MEETING WITH CITY OF LAKEWOOD OFFICIALS.
2. FLAG CLEARING AND GRADING LIMITS FOR PROJECT AS SHOWN ON THE PLANS PER THIS SHEET.
3. POST SIGN WITH NAME AND PHONE NUMBER OF THE CESCL.
4. INSTALL TEMPORARY FILTER FABRIC FENCE AND CB PROTECTION AS SHOWN ON PLANS TO PROTECT ADJACENT PROPERTIES AND STORMWATER SYSTEM.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE PER PLAN.
6. REMOVE ALL EXISTING SITE IMPROVEMENTS AND DEMO EXISTING BUILDINGS AS INDICATED ON PLANS.
7. INSTALL TEMPORARY SEDIMENT POND.
8. CONSTRUCT INTERCEPTOR DITCHES WHERE SHOWN.
9. CITY REPRESENTATIVE TO INSPECT AND APPROVE INSTALLATION OF T.E.S.C. MEASURES BEFORE SITE CLEARING AND GRADING.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY AND NPDES PERMIT REQUIREMENTS.
11. PROTECT ALL PROPERTIES ADJACENT TO THE PROJECT FROM SEDIMENT DEPOSITION.
12. NO RUNOFF IS TO LEAVE SITE WITHOUT TREATMENT.
13. CLEAR AND GRADE SITE, AMEND T.E.S.C. FACILITIES AS REQUIRED.
14. ONCE INFILTRATION GALLERY IS OPEN TO BOTTOM ELEVATION, PERFORM INFILTRATION TEST(S) IN ACCORDANCE WITH PIERCE COUNTY STANDARDS TO CONFIRM INFILTRATION RATE OF 10 IN/HR.
15. COVER ALL AREAS THAT WILL REMAIN UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
16. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
17. WHEREVER CONSTRUCTION VEHICLES ACCESS ROUTE CROSSES PAVED ROADS, CARE MUST BE TAKEN TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS GRADED AND MAINTAINED TO PROVIDE POSITIVE SLOPE FOR DRAINAGE TO DISCHARGE POINT.
18. WITH EACH LAYER OF FILL MATERIAL, INTERCEPTOR DITCHES AND T.E.S.C. FACILITIES MUST BE GRADED AND MAINTAINED TO PROVIDE POSITIVE SLOPE FOR DRAINAGE TO DISCHARGE POINT.
19. MAINTAIN T.E.S.C. FACILITIES UNTIL ALL RISK OF EROSION/SEDIMENTATION DRAINAGE HAS PASSED AND PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL. DO NOT CONVEY SEDIMENT-LADEN WATER INTO STORM DRAINAGE SYSTEM. REMOVE TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES UPON FINAL SITE STABILIZATION AND APPROVAL FROM THE CITY INSPECTOR.
20. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE REVEGETATED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
21. COMPLETE INSPECTION/ PUNCHLIST

Title:

For:
PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



Scale:

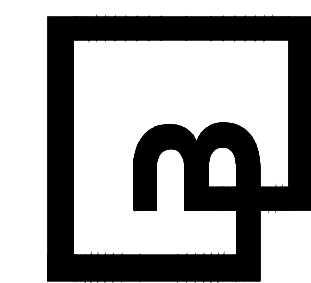
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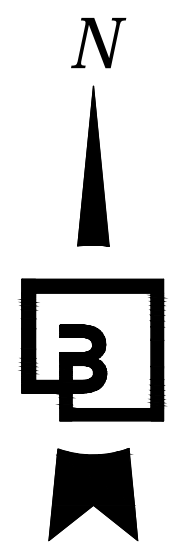
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Checked	LD
Approved	DKB

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Kent, WA 98032
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Job Number
21227

Sheet



0 20' 40' 80'
SCALE: 1"=40'



Know what's below.
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PRELIMINARY GRADING PLAN NORTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____
CITY OF DUPONT

DATE: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

1 8/5/20 WED DKB DKB DKB
No. Date By Cld. Appr. Revision

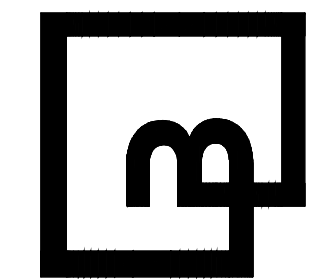
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PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON

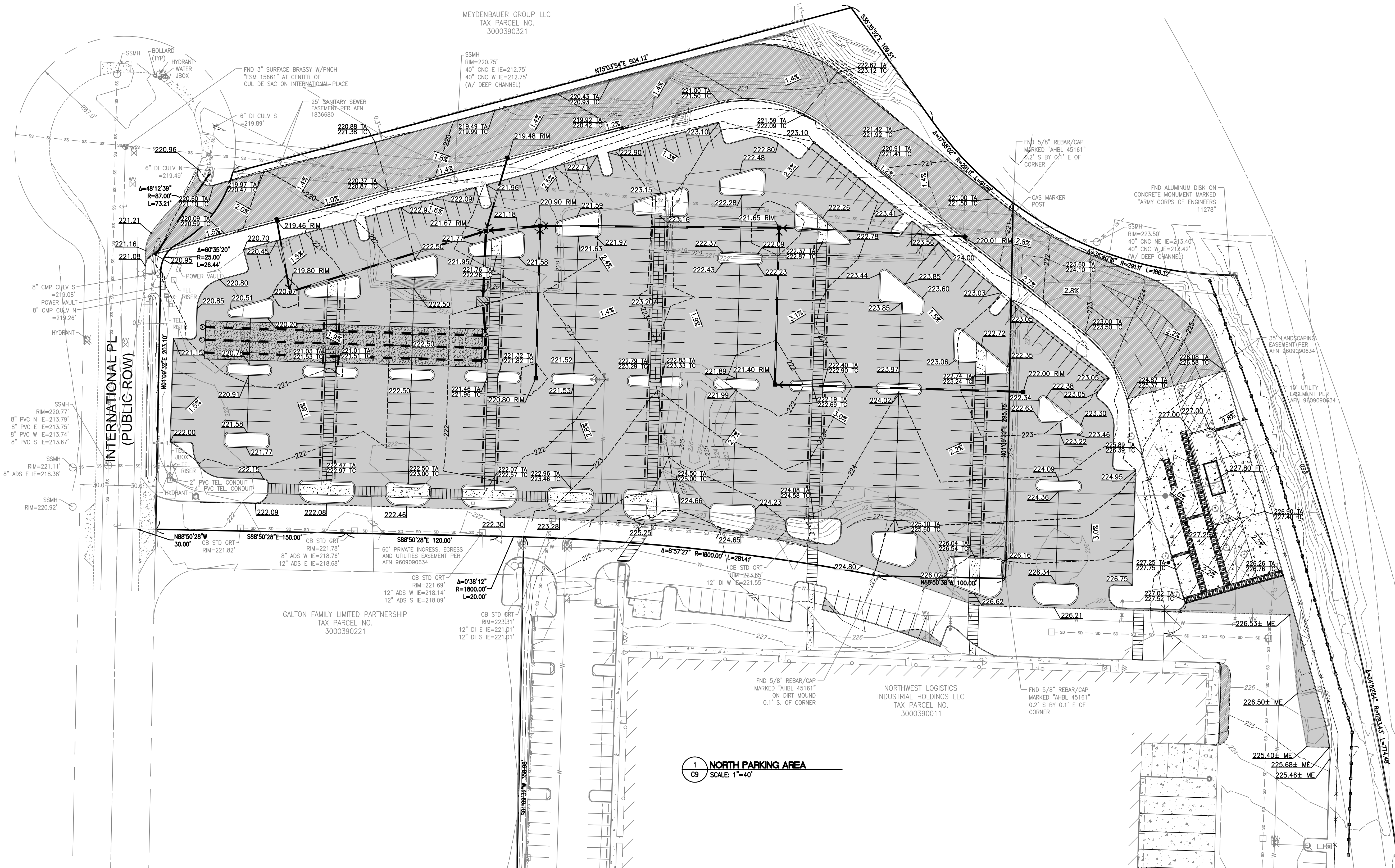


Scale:
Horizontal 1"=40'
Vertical 1"=10'
Designed WED
Drawn WED
Checked LD
Approved DKB
Date 8/5/20

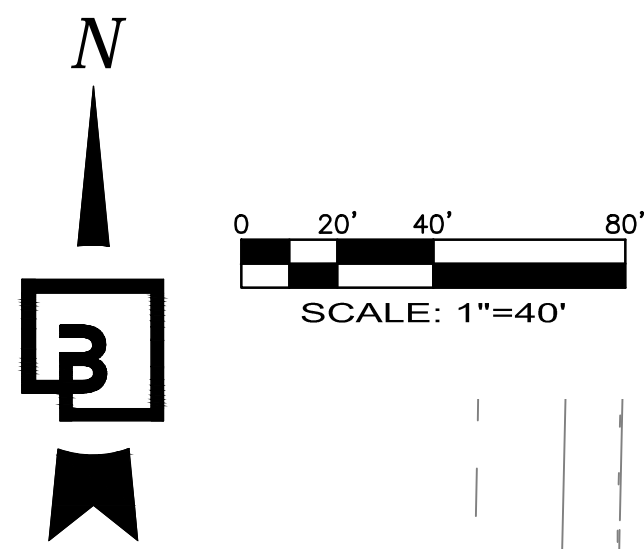
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Kent, WA 98032
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Job Number
21227
Sheet
C9 of 13

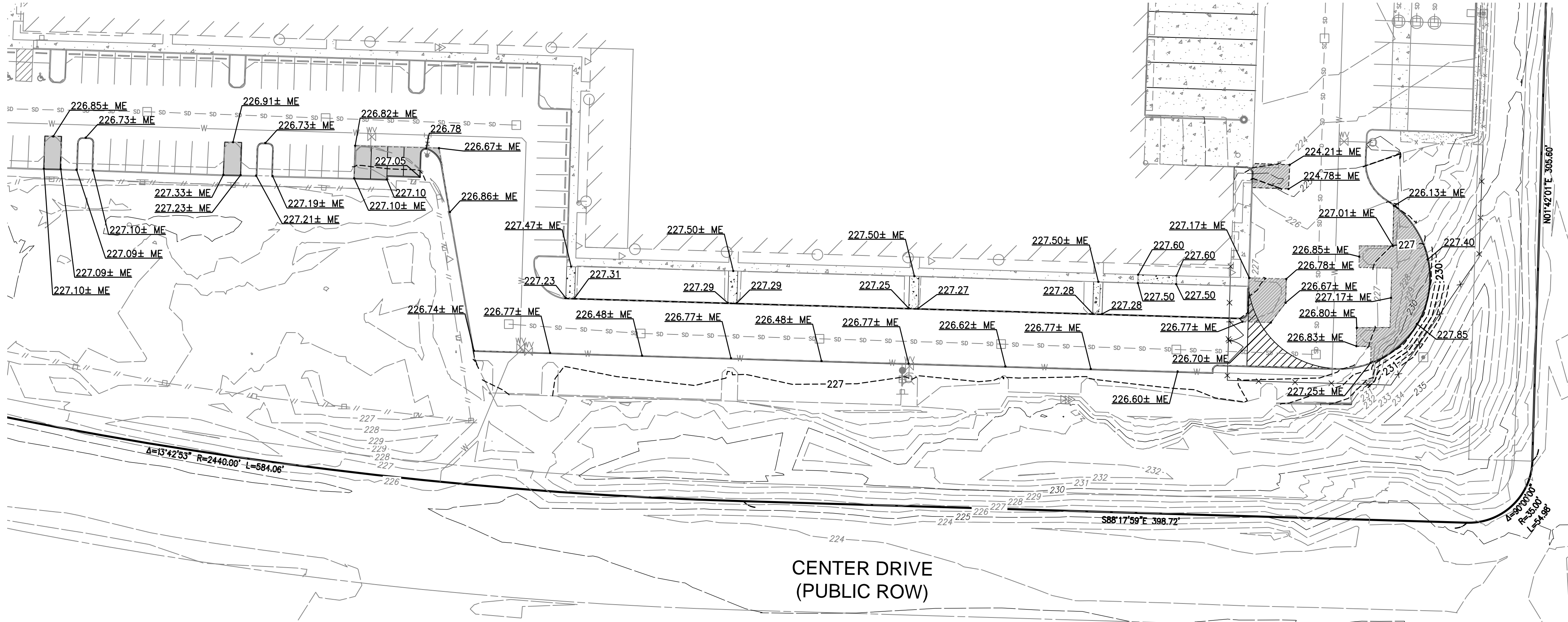
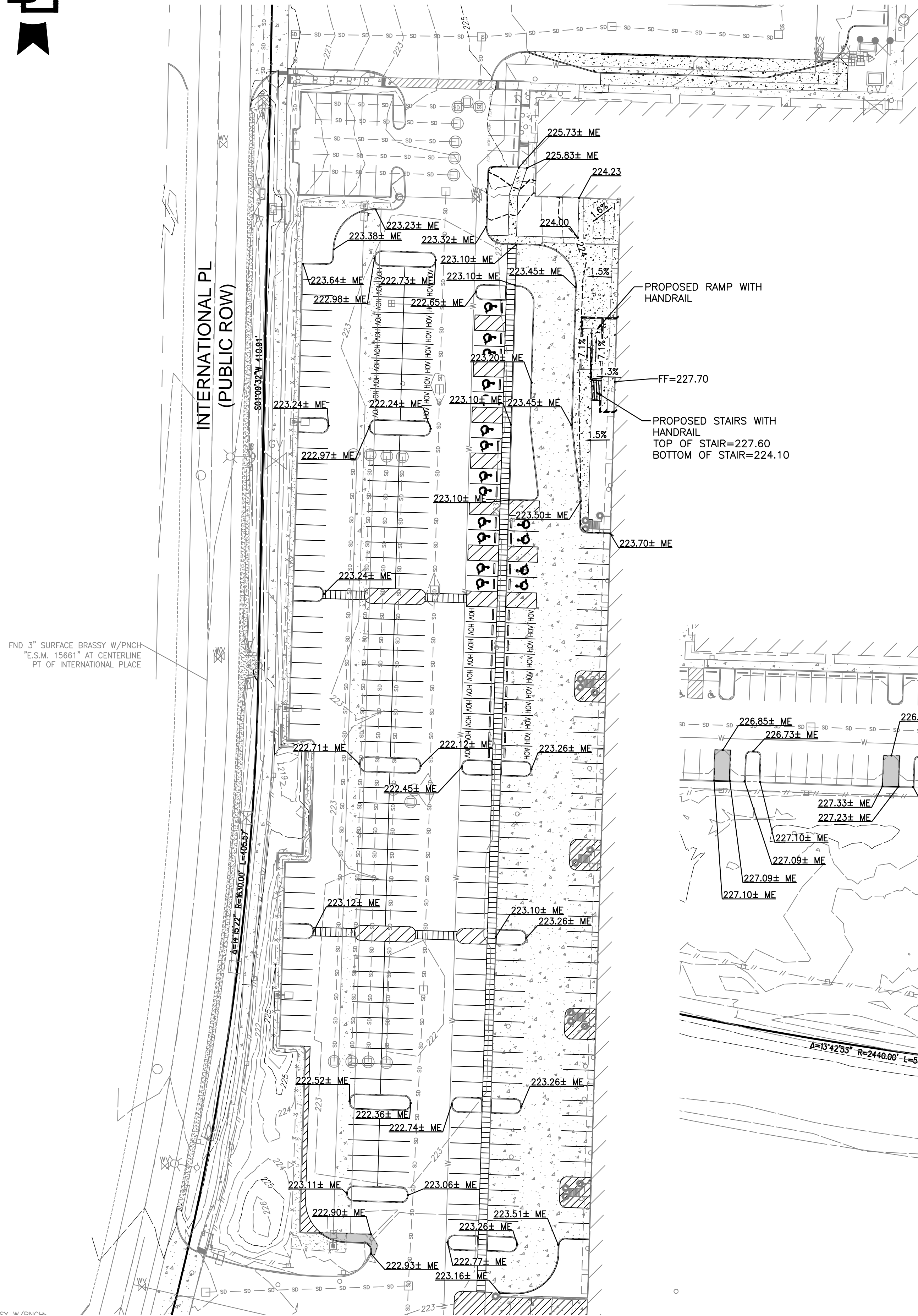


1 NORTH PARKING AREA
C9 SCALE: 1"=40'



PRELIMINARY GRADING PLAN SOUTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION
BY: _____
CITY OF DUPONT
DATE: _____
THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

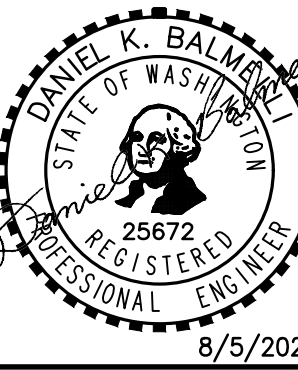


1 WEST PARKING AREA
C10 SCALE: 1"=40'

2 SOUTH PARKING AREA
C10 SCALE: 1"=40'

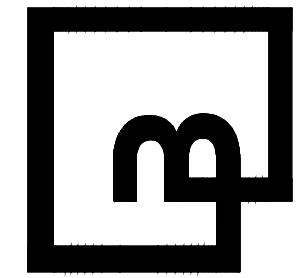
No.	Date	By	Clk.	Appr.	Revision
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For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



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Horizontal	1"=40'	
Vertical		1"=40'
Designed	WED	
Drawn	WED	
Checked	LD	
Approved	DKB	
Date	8/5/20	

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PRELIMINARY UTILITY PLAN
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____
CITY OF DUPONT

DATE: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

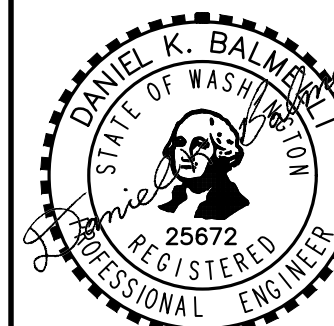
1	8/5/20	WED	DKB	DKB	SITE PLAN AMENDMENT RESUBMITTAL
No.	Date	By	Ckd.	Appr.	Revision

Title:

PRELIMINARY UTILITY PLAN

FOR
NW LOGISTICS 2 - PARKING EXPANSION

For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON

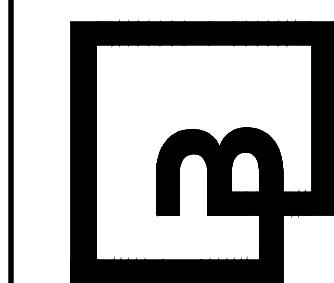


8/5/20

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1" = 40'
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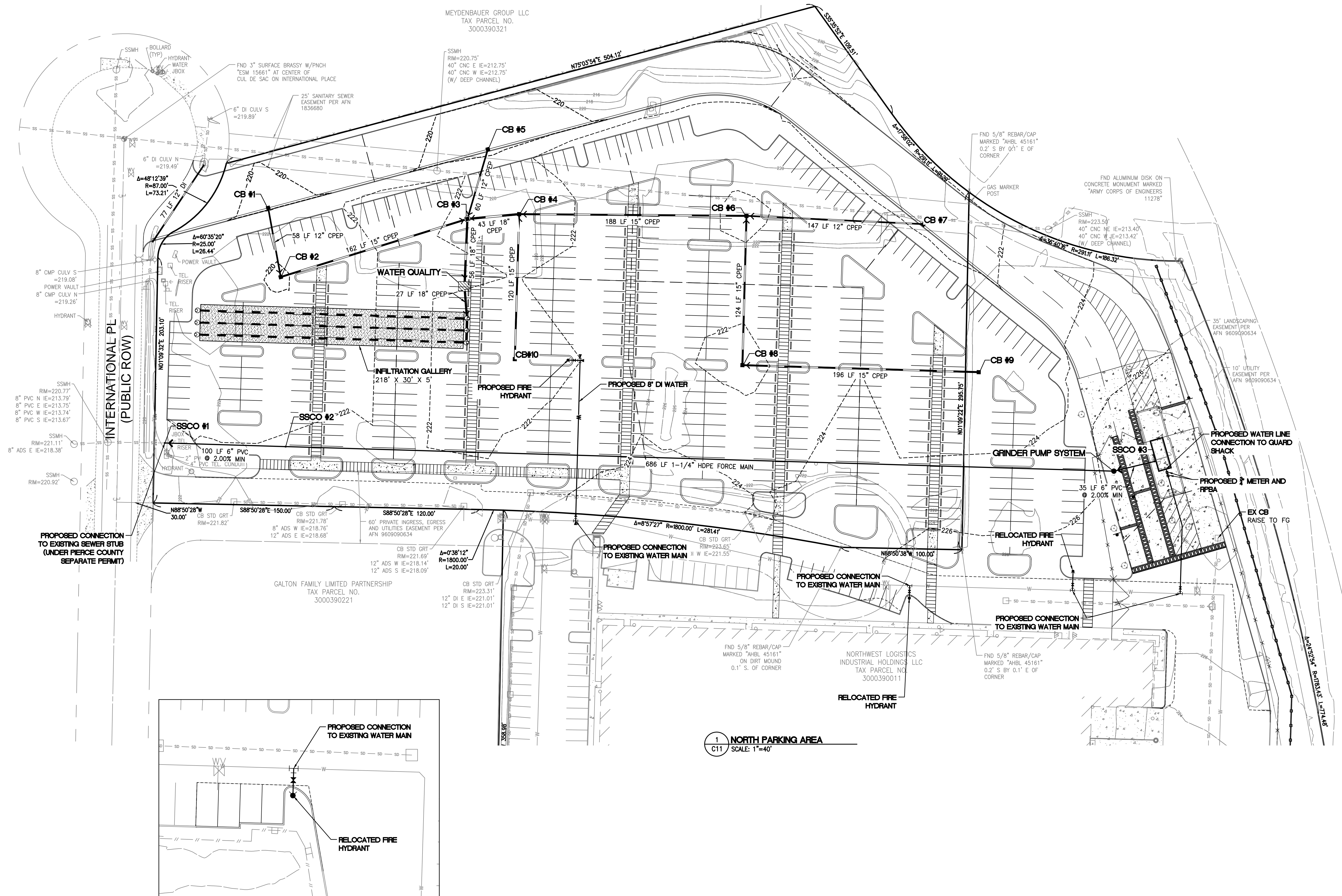
Designed	WED
Drawn	WED
Checked	LD
Approved	DKB

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2 SOUTH HYDRANT BLOW UP
C11 SCALE: 1"=20'



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GENERAL NOTES

10. GENERAL NOTES AND DRAWINGS
10.1 GENERAL NOTES (STREET CONSTRUCTION)

1. THESE DRAWINGS ARE APPROVED UNTIL _____, [EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL]. THE CITY RESERVES THE RIGHT TO MAKE MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMIT. THE CITY, BY APPROVING THESE DOCUMENTS, IN NO WAY WARRANTS THEIR ACCURACY OR ACKNOWLEDGES ANY OMISSIONS.
2. A PRECONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- A COPY OF THE APPROVED ROADWAY PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF DUPONT'S STREET STANDARDS AND STORM WATER MANAGEMENT MANUAL AND THE MOST CURRENT EDITION OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. THEREFORE, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK IN THE RIGHT-OF-WAY. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).

ALL CURB AND GUTTER, STREET GRADES, SIDEWALK GRADES, AND ANY OTHER VERTICAL AND/OR HORIZONTAL ALIGNMENT SHALL BE STAKED BY A PROFESSIONAL ENGINEER OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK.

ANY ROADWAY SIGNAGE OR STRIPING REMOVED OR TEMPORARILY MOVED BY THE CONTRACTOR SHALL BE RESTORED SO AS TO MEET THE CURRENT MUTCD STANDARDS.

WHERE NEW ASPHALT JOINS EXISTING, THE EXISTING ASPHALT SHALL BE CUT TO A NEAT VERTICAL EDGE AND TACKED WITH ASPHALT EMULSION TYPE CSS-1 IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE JOINT SHALL BE SEALED WITH GRADE AR-4000W PAVING ASPHALT.

COMPACTION OF SUBGRADE, ROCK, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. SEE CITY OF DUPONT STREET STANDARDS FOR TESTING AND SAMPLING FREQUENCIES. DENSITY TEST REPORTS WILL BE REQUIRED FOR ALL PUBLIC ROADWAYS.

FORM AND SUBGRADE INSPECTION BY THE CITY IS REQUIRED BEFORE PLACING CONCRETE. TWENTY-FOUR HOURS ADVANCE NOTICE IS REQUIRED FOR THE SCHEDULING OF INSPECTION.

CALL UNDERGROUND UTILITY LOCATE LINE, 1-800-424-5555 OR 811, PRIOR TO ANY EXCAVATION.

DEAD-END STREETS SHALL BE APPROPRIATELY SIGNED AND BARRICADED.

WHERE A SIDEWALK IS TO BE CONSTRUCTED ABOVE A SLOPE OR ADJACENT TO A ROCKERY OR RETAINING WALL, WHERE THE LOWEST FINISHED ELEVATION OF THE SLOPE, ROCKERY, OR RETAINING WALL IS TO BE THIRTY INCHES (30") OR MORE BELOW THE FINISHED ELEVATION OF THE SIDEWALK, A SAFETY RAILING SHALL BE REQUIRED WHEN:

THE PLANE OF THE WALL IS LESS THAN 4' IN HORIZONTAL DISTANCE FROM THE OUTSIDE EDGE OF THE SIDEWALK.

THE PLANS OF THE WALL FACE IS GREATER THAN 4' HORIZONTAL DISTANCE TO THE OUTSIDE EDGE OF THE SIDEWALK, BUT THE SLOPE DOWN TO THE WALL TOP EXCEEDS THREE TO ONE.

THE SLOPES ADJACENT TO THE SIDEWALK AVERAGE GREATER THAN TWO TO ONE.

ANY VAULT CONSTRUCTION SHALL HAVE EITHER:

- (A) PROVIDED WITH WATER STOPS AT CAST-IN-PLACE CONSTRUCTION JOINTS.
- (B) PRE-CAST VAULT SHALL HAVE APPROVED RUBBER GASKET SYSTEM.

10.2 EROSION/SEDIMENTATION CONTROL NOTES.

THE CONTRACTOR SHALL PROVIDE EROSION CONTROL METHODS ACCORDING TO THE WASHINGTON STATE DEPARTMENT OF ECOLOGY'S (WDOE) "STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN". THE FOLLOWING NOTES ARE ONLY A FEW OF THE MINIMUM REQUIREMENTS AND SHOULD NOT BE INTERPRETED TO EXCLUDE ANY EROSION CONTROL PRACTICES AS SPECIFIED IN THE WDOE STORMWATER MANUAL.

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLAN SHALL BE CLEARLY FLAGGED BY THE ENGINEER IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES MUST BE IN OPERATION PRIOR TO LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO EROSION/SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND AS UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO INSURE COMPLETE SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING OF THE SEDIMENT. ALL CATCH BASINS, CONVEYANCE LINES AND DITCHES ALONG INTERNATIONAL PLACE AND CENTER DRIVE SHALL BE CLEANED PRIOR TO PAVING.
- THE CONTRACTOR SHALL REMOVE MATERIAL DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE CITY RIGHT-OF-WAY OR INTO THE STORM DRAINAGE SYSTEM ON INTERNATIONAL PLACE, CENTER DRIVE AND DUPONT-STELACOOM HIGHWAY. DEBRIS SHALL NOT BE WASHED INTO THE STORM DRAINAGE SYSTEM.
- TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSPECTED WEEKLY AND MAINTAINED WITH 24 HOURS FOLLOWING A STORM EVENT. SEDIMENT SHALL BE REMOVED TO ENSURE THE FACILITIES WILL FUNCTION PROPERLY. THE FACILITIES SHALL BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

NO DISTURBED SOIL SHALL REMAIN UNSTABILIZED FOR MOR THAN TWO DAYS.

GENERAL NOTES (WATER SYSTEM CONSTRUCTION)

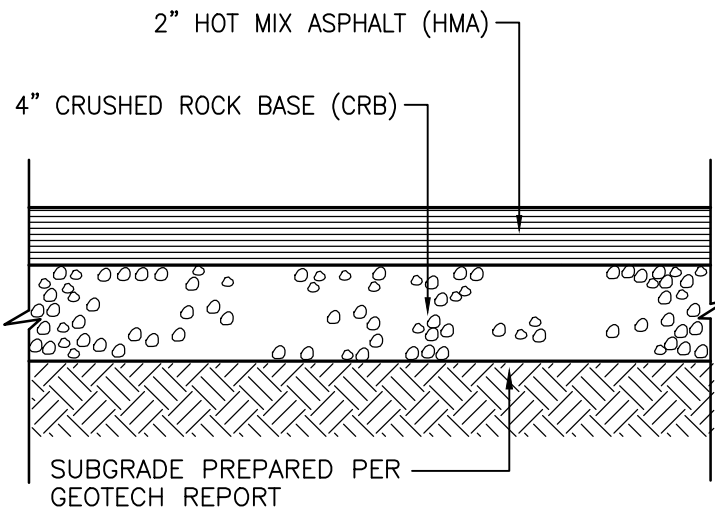
- ALL IRRIGATION CROSSINGS SHALL HAVE SCHEDULE 80 SLEEVES AND THE SIZE SHALL BE PER THE APPROVED IRRIGATION DRAWINGS.
- LIGHT POLES SHALL BE LOCATED A MINIMUM OF 3 FEET FROM ALL UNDERGROUND UTILITIES, INCLUDING WATER METERS. LIGHT POLES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM FIRE HYDRANTS.
- WATER MAINS AND FITTINGS TO BE INSTALLED SHALL BE DUCTILE IRON FOR ALL SIZES, UNLESS SPECIFICALLY NOTED OTHERWISE. THE CLASS OF THE DUCTILE IRON PIPE SHALL BE THICKNESS CLASS 52 FOR ALL DIAMETERS.
- WATER MAINS SHALL MAINTAIN A MINIMUM OF 3 FEET AND A MAXIMUM OF 5 FEET OF COVER.
- UTILITY CROSSINGS HAVING LESS THAN 1 FOOT OF VERTICAL SEPARATION SHALL BE CONSTRUCTED WITH CONTROLLED DENSITY FILL (CDF) TO PREVENT POSSIBLE DAMAGE TO EITHER UTILITY.
- WATER MAIN DEFLECTIONS AT JOINTS ARE NOT TO EXCEED MANUFACTURER'S RECOMMENDATIONS PLUS AN ADDITIONAL FACTOR OF SAFETY OF 50 PERCENT.
- IDENTIFY A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER MAINS AND WATER MAINS, BOTH EXISTING AND PROPOSED.
- FOR PROPOSED WATER MAINS, IDENTIFY RESTRAINED JOINT FITTINGS AND PUSH-ON JOINTS AT LOCATIONS WHERE THRUST BLOCKS WILL NOT HAVE SUFFICIENT UNDISTURBED ADJACENT AREA FOR BEARING.
- WATER SERVICE CONNECTIONS SHALL BE MADE PERPENDICULAR TO THE MAIN.
- THE WATER MAIN PIPES SHALL BE DISINFECTED AND TESTED BEFORE BEING PLACE IN SERVICE. ALL WATER MAIN TESTING AND DISINFECTION SHALL BE PER CITY OF DUPONT PUBLIC WORKS STANDARDS.
- WATER MAIN STUBOUTS THAT ARE NOT USED SHALL BE DISCONNECTED AT THE MAIN, WITH A BLIND FLANGE INSTALLED AT THE TEE.
- TEE CONNECTIONS TO EXISTING WATER MAINS SHALL BE WET TAPS.
- SEPARATE WATER CONNECTIONS WILL BE REQUIRED FOR DOMESTIC, FIRE, AND IRRIGATION. ALL SERVICES SHALL INCLUDE BACKFLOW PREVENTION DEVICES LOCATED OUTSIDE OF ANY PROPOSED BUILDINGS.
- ALL FIRE PROTECTION SYSTEM INSTALLATIONS, INCLUDING PIPELINES AND DOUBLE DETECTOR CHECK ASSEMBLIES, ARE SUBJECT TO THE CONSTRUCTION STANDARDS OF NFPA 24 AND TO THE INSPECTION AND TESTING REQUIREMENTS OF THE CITY OF DUPONT FIRE DEPARTMENT.
- THE FIRE PROTECTION SYSTEMS, INCLUDING THE BACKFLOW PREVENTION DEVICES, UNDERGROUND FIRE SERVICE LINES, AND FIRE DEPARTMENT CONNECTIONS, ARE SUBJECT TO SEPARATE REVIEW, PERMITTING, AND APPROVAL BY THE CITY OF DUPONT FIRE DEPARTMENT.
- RELOCATE THE FIRE DEPARTMENT CONNECTIONS (FDCS) TO PLANTER ISLANDS OR OTHER LOCATIONS, AS FEASIBLE, TO BE OUTSIDE OF THE BUILDING COLLAPSE ZONES.
- THE APPLICANT SHALL FURNISH METER SIZING CALCULATIONS FOR DOMESTIC AND FIRE WATER SERVICES. THE SPRINKLER SYSTEM DESIGN, INCLUDING CONFIRMATION OF THE PROVIDED SIZING FOR THE FIRE LINE COMPONENTS SHALL BE REVIEWED AND APPROVED BY THE CITY BUILDING DEPARTMENT AND FIRE DEPARTMENT AS PART OF THE BUILDING PERMIT PROCESS. EACH FIRE LINE CONNECTION TO A CITY WATER MAIN WILL REQUIRE A DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCVA) IN AN UNDERGROUND VAULT AND A FIRE DEPARTMENT CONNECTION (FDC) WITHIN 50 FEET OF A FIRE HYDRANT.

APPROVED FOR CONSTRUCTION

BY: _____
CITY OF DUPONT

DATE: _____

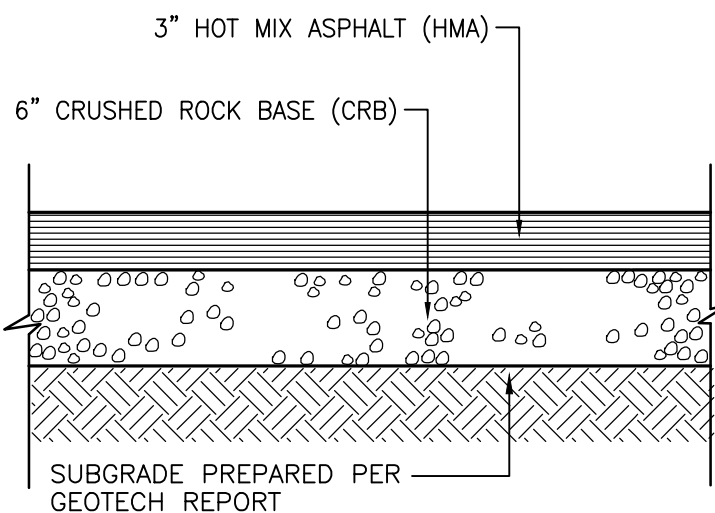
THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.



NOTE:
REFER TO SOIL ENGINEER'S RECOMMENDATIONS
FOR SITE PREPARATION & ALTERNATE PAVEMENT SECTIONS

TYPICAL LIGHT DUTY ON-SITE PAVEMENT SECTION

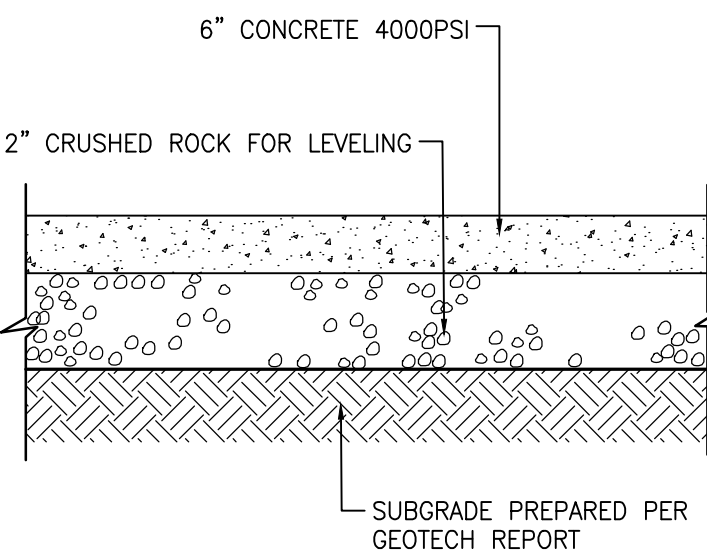
NOT TO SCALE



NOTE:
REFER TO SOIL ENGINEER'S RECOMMENDATIONS
FOR SITE PREPARATION & ALTERNATE PAVEMENT SECTIONS

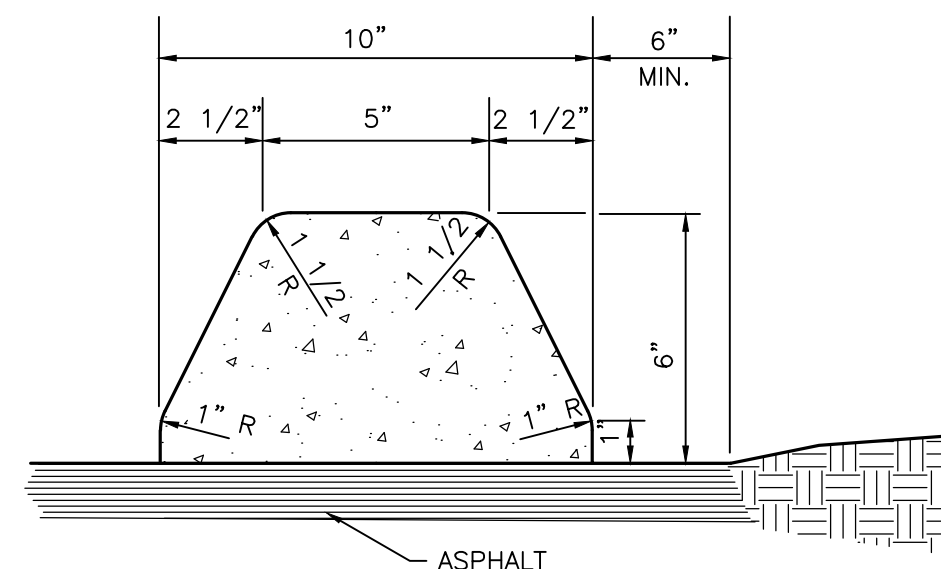
TYPICAL HEAVY DUTY ON-SITE PAVEMENT SECTION

NOT TO SCALE



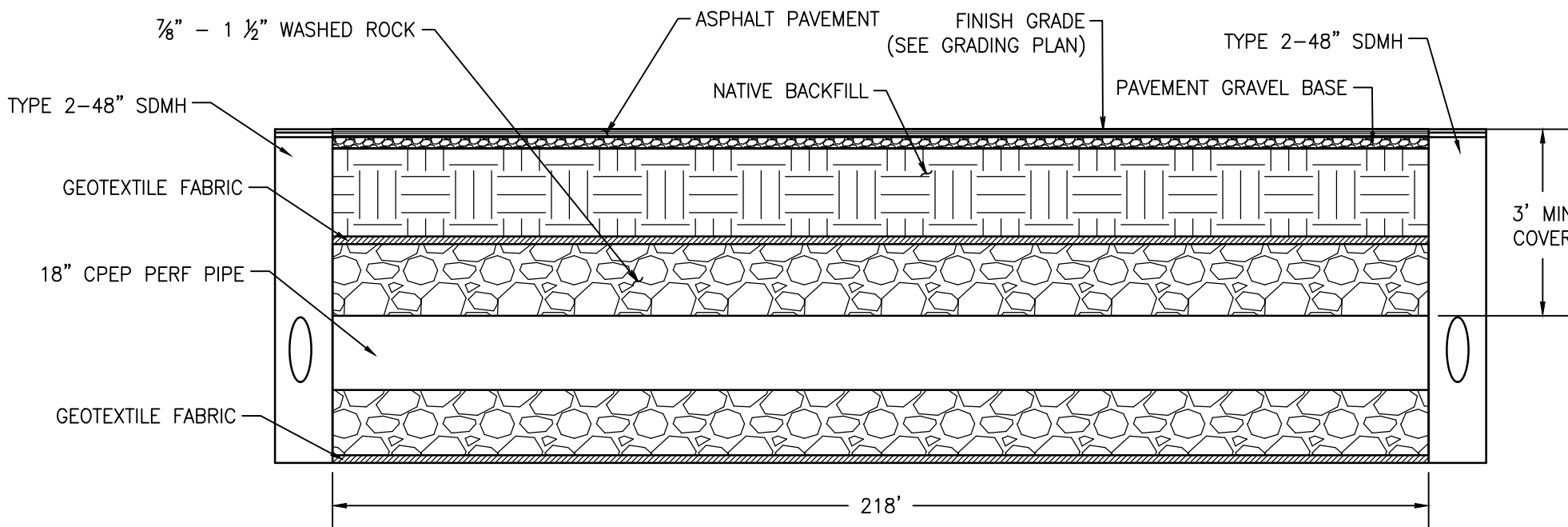
TYPICAL CONCRETE PAVEMENT SECTION

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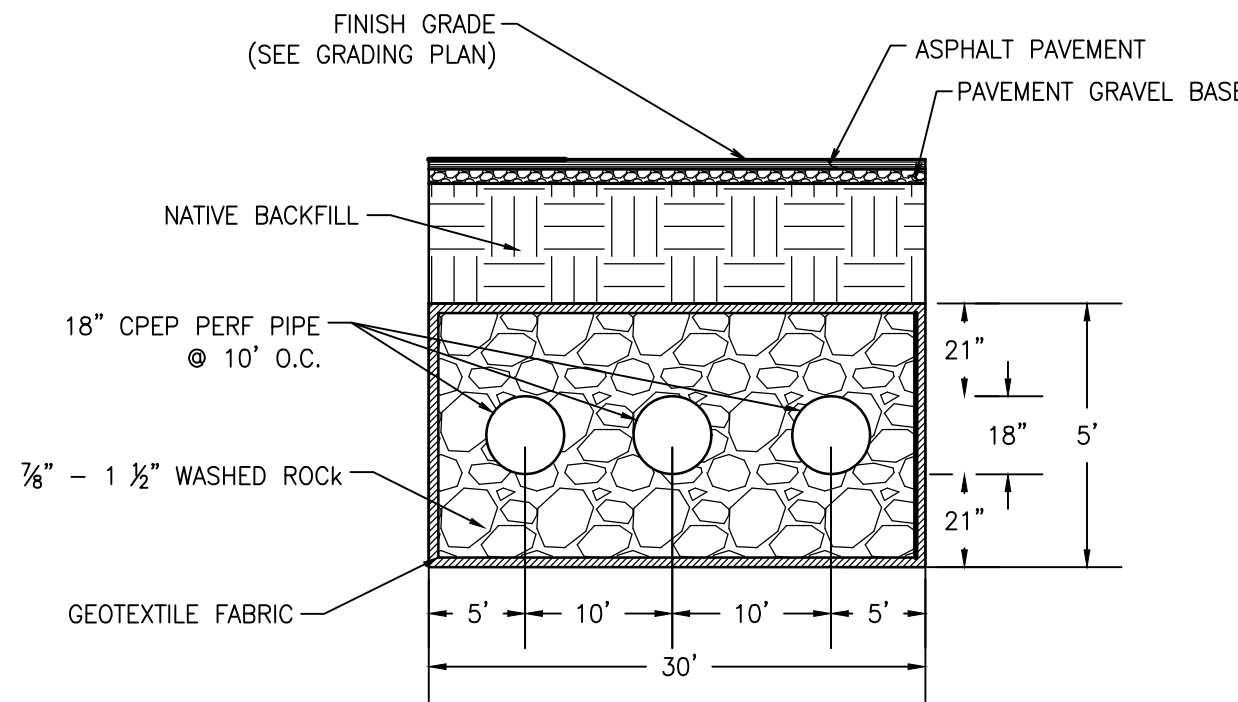
EXTRUDED CONCRETE CURB DETAIL

NOT TO SCALE



INFILTRATION GALLERY SECTION VIEW

NTS



INFILTRATION GALLERY CROSS-SECTION

Title:

PRELIMINARY CONSTRUCTION NOTES
AND DETAILS
FOR
NW LOGISTICS 2 - PARKING EXPANSION

For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



Scale:
Horizontal _____
Vertical _____

Designed _____ WED _____
Drawn _____ WED _____
Checked _____ LD _____
Approved _____ DKB _____
Date _____ 8/5/20 _____

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number
21227

Sheet
C12 of 13



Know what's **below**.
Call before you dig.

PRELIMINARY CONSTRUCTION NOTES AND DETAILS

FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT. PEIRCE COUNTY. STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

1	8/5/20	WED	DKB	DKB	SITE PLAN AMENDMENT RESUBMITTAL
No.	Date	By	Ckd.	Appr.	Revision

Title:

PRELIMINARY CONSTRUCTION NOTES
AND DETAILS
FOR
NW LOGISTICS 2 - PARKING EXPANSION

For:
PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



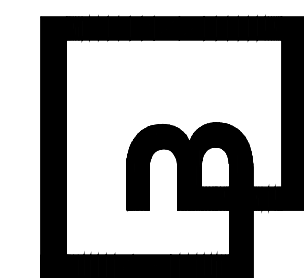
Scale:

Horizontal —

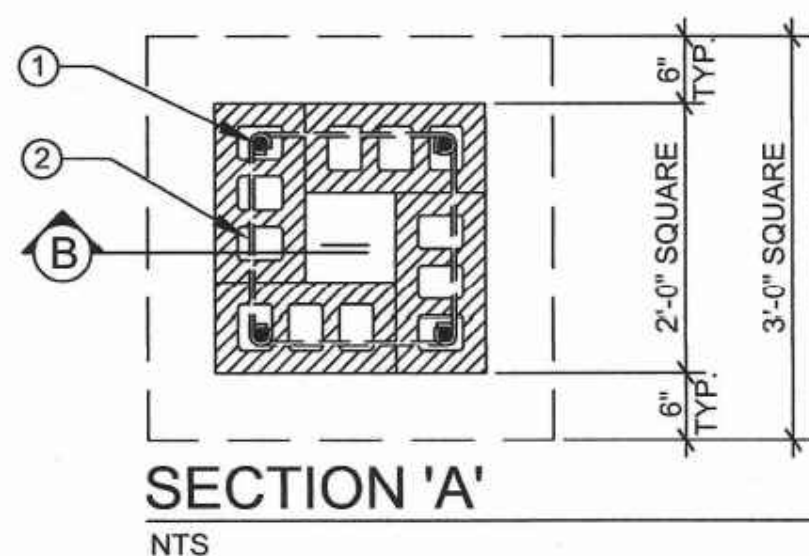
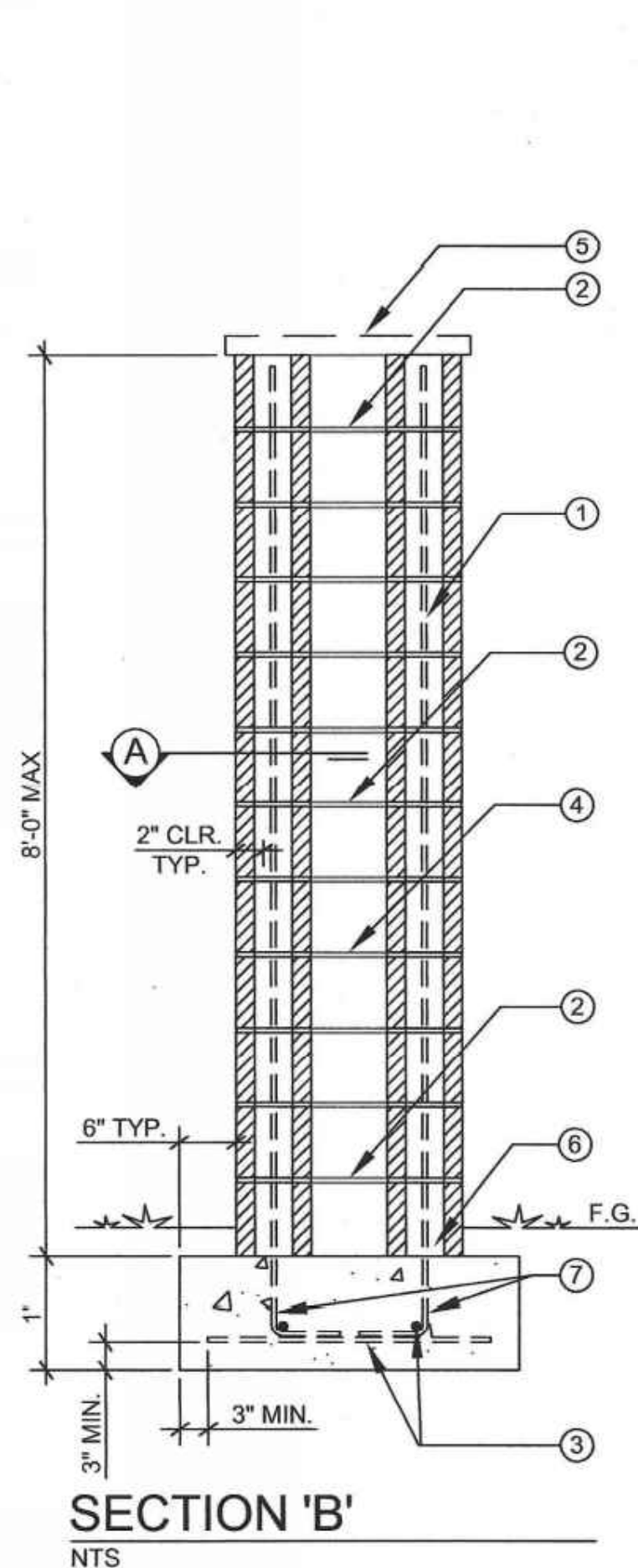
Vertical —

Designed	WED
Drawn	WED
Checked	LD
Approved	DKB
Date	8/5/20

**Barghausen
Consulting Engineers, Inc.**
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number
21227
Sheet



GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE 2018 IBC WITH SNA.
2. CONCRETE MASONRY SHALL COMPLY WITH THE FOLLOWING:
 - A. ASTM C 90, F'm = 1,500 PSI
 - B. MORTAR: TYPE M OR S, 1800 PSI
 - C. GROUT SHALL CONFORM TO ASTM C 476, 2000 PSI MIN.
3. FOUNDATION CONCRETE SHALL BE 4,500 PSI, TYPE V CEMENT AND 0.45 WATER TO CEMENT RATIO
4. ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE ASTM A615-40.
5. LAP VERTICAL STEEL 24 INCHES MINIMUM.
6. SITE PLAN SHALL BE SUBMITTED FOR REVIEW BEFORE THE BUILDING PERMIT CAN BE ISSUED.

KEYNOTES: (#)

- ① - #4 VERTICAL REBAR AT EACH CELL CORNER, SOLID GROUTED
- ② - #3 REBAR, TIE IN MINIMUM 8-INCH BOND BEAM AT TOP, MIDDLE, AND BOTTOM. PROVIDE A 2-INCH MINIMUM GROUT COVER AT ALL SIDES OF REBAR.
- ③ - (2) #4 CONTINUOUS REBAR EACH WAY
- ④ - LINE OF CMU GROUT BEYOND
- ⑤ - FINISH TOP OF COLUMN WITH A CAP BLOCK OR WITH CONCRETE FOR WATER RUN-OFF.
- ⑥ - GROUT ALL CELLS AND CAVITIES SOLID BELOW GRADE.
- ⑦ - STANDARD 90° HOOK WITH 9" MIN. LENGTH

REQUIRED INSPECTIONS: (SPECIAL INSPECTION - NONE REQUIRED)

1. FOUNDATION
2. MASONRY PREGROUT
3. FINAL

GENERAL NOTES

2. ALL WORK SHALL CONFORM TO THE IBC 2018 EDITION AS AMENDED
3. CONCRETE BLOCK MASONRY SHALL COMPLY WITH THE FOLLOWING:
 - A. CONCRETE MASONRY SHALL CONFORM TO ASTM C 90, F'm = 1500 PSI
 - B. MORTAR TYPE M 2500 PSI OR 5000 PSI
 - C. GROUT CONFORMS TO ASTM C 476, MINIMUM 2000 PSI
4. THE ULTIMATE COMPRESSIVE STRENGTH REQUIRED FOR FOUNDATION CONCRETE SHALL BE OF 4500 PSI, TYPE V GEMENT, AND 0.45 WATER TO CEMENT RATIO.
5. ALL RETAINING WALLS SHALL BE CONSTRUCTED WITH A 15% SPlice = 24"
6. NO WATER COURSE OR NATURAL DRAINAGE SHALL BE OBSTRUCTED.
7. FOR RETAINING WALL, PROVIDE 1CF/FT OF CLEAN COARSE GRAVEL WITH 2" DIAMETER WEEP HOLES THROUGH THE WALL AND LINED WITH PVC PIPE AT 8'-0" O.C. ALONG WALL AND PLACED 3" ABOVE THE LOWEST ADJACENT FINISHED GRADE.
8. ALL WALL SHALL BE CONSTRUCTED WITH A 15% SPlice = 24"
9. CONTROL JOINT SPACING AT 24 FEET (MAX), VERTICAL REBAR SHALL BE LOCATED WITHIN 16 INCHES OF THE END.
10. GROUT ALL CELLS CONTAINING REINFORCEMENT, LOWER STEM IS SOLD GROUTED.
11. PROVIDE COVER FOR ALL REBAR IN FOOTING.
12. WATERPROOF THE INSIDE FACE OF ALL RETAINING WALLS PER 1805.3 OF 2018 IBC.

DESIGN CRITERIA

2018 IBC WITH SO. NV AMENDMENTS

WIND LOAD
BASED

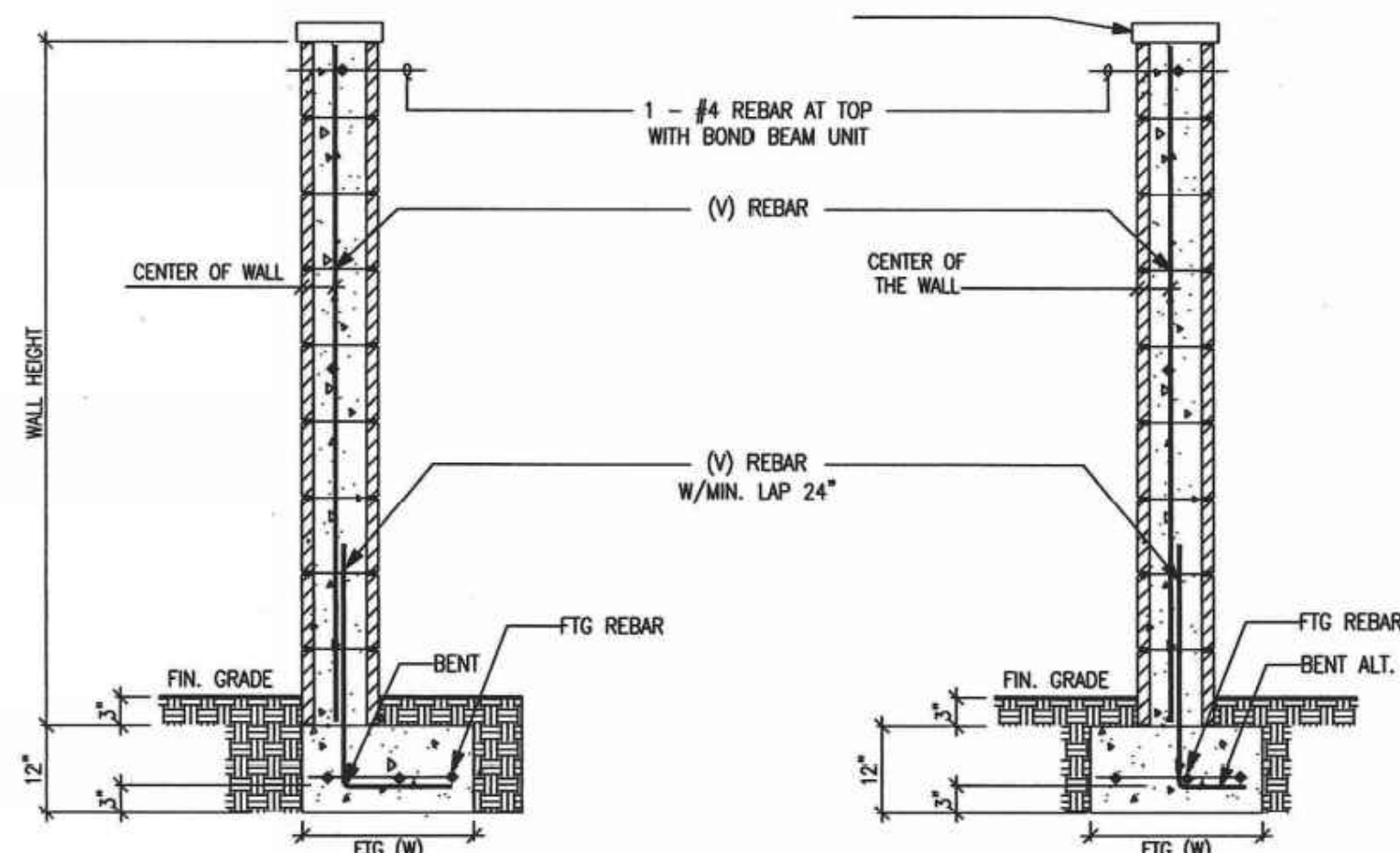
BASIC WIND SPEED = 95 MPH, EXPOSURE C
 $K_z = 0.85$
 $K_e = 1.0$
 $K_{zt} = 1.0$
 $K_d = 0.85$
 $C_f = 1.4$
 $G = 0.85$

SEISMIC LOAD REGION 5

DESIGN SPECTRAL RESPONSE $S_{DS} = 0.574g$
SEISMIC COEFFICIENTS $R = 1.25$ (ASCE 7-16, T-15.4-2)
 $C_s = 0.46$
SEISMIC LOAD DUE TO LATERAL EARTH PRESSURE
 $= 10.4h^2$ (LBS) THE POINT OF APPLICATION IS TAKEN
AT 0.6H ABOVE THE BASE OF THE WALL, WHERE H IS
THE HEIGHT OF THE BACKFILL.

SOIL PARAMETER

SITE CLASS = D
ALLOWABLE SOIL BEARING PRESSURE = 1000 PSF
LATERAL EQUIVALENT FLUID PRESSURE OF 45 PSF/F
PASSIVE PRESSURE = 100 PSF
COEFFICIENT OF FRICTION FOR SLIDING = .25



WALL HEIGHT (FT)	4'-0"	6'-0"	6'-0"	8'-0"
CMU THICKNESS (IN)	6"	6"	8"	8"
(V) REBAR #4 @	48" O.C.	24" O.C.	24" O.C.	8" O.C.
FTG REBAR	1-#4	2-#4	2-#4	3-#4
FTG (W)	1'-9"	2'-9"	3'-0"	4'-9"

WALL SCHEDULE FOR WALL AT CENTER OF FOOTING				
WALL HEIGHT (FT)	4'-0"	6'-0"	6'-0"	8'-0"
CMU THICKNESS (IN)	6"	6"	8"	8"
(V) REBAR #4 @	48" O.C.	24" O.C.	24" O.C.	8" O.C.
FTG REBAR	1-#4	2-#4	2-#4	3-#4
FTG (W)	1'-6"	2'-3"	2'-3"	3'-3"

MASONRY SCREEN WALL DETAIL

NTS