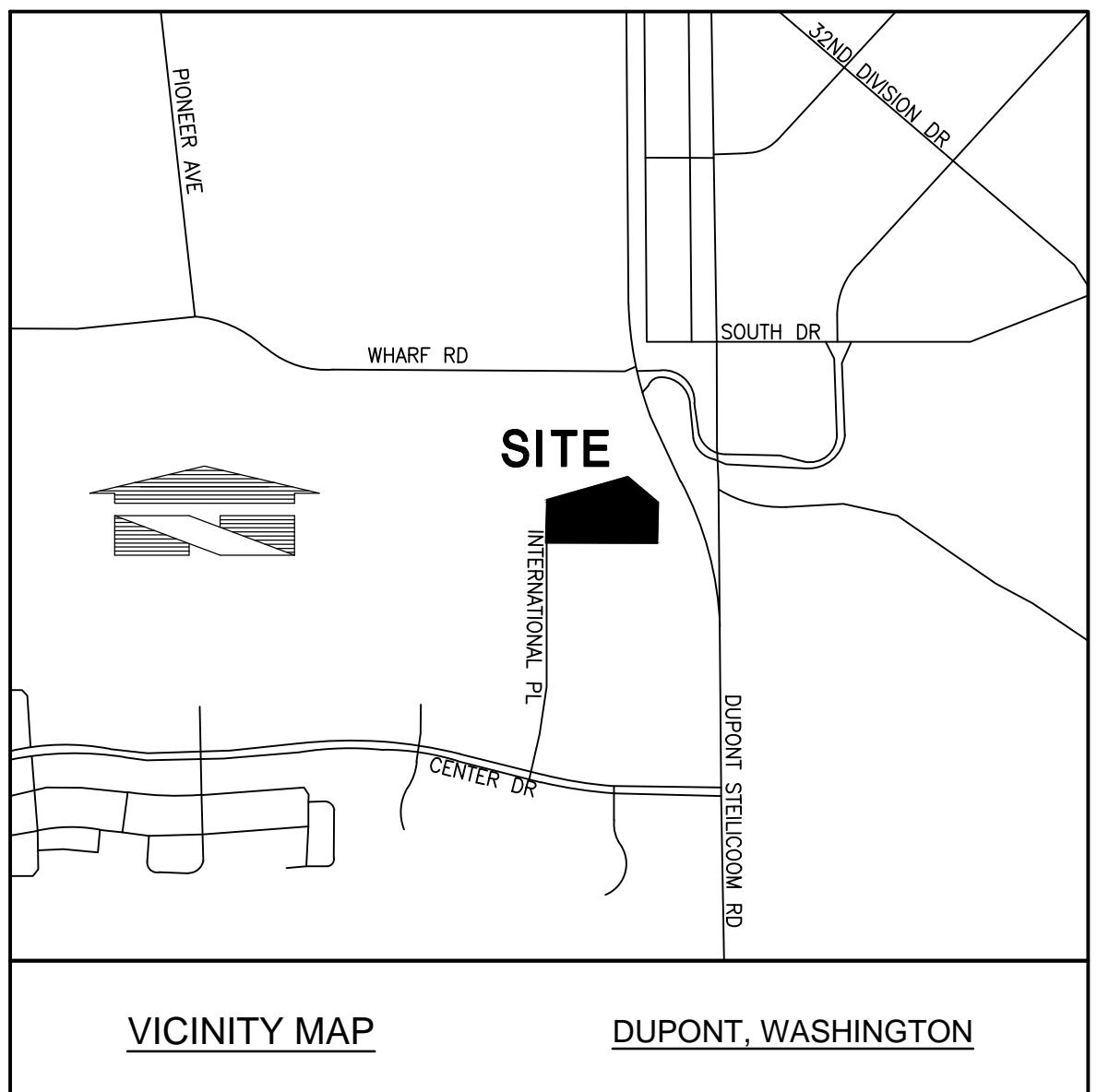
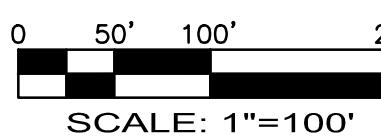


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VICINITY MAP

DUPONT, WASHINGTON

SURVEY INFORMATION

LEGAL DESCRIPTIONS:
(PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NCS-921048-WA1, DATED AUGUST 31, 2018 8:00AM)

PARCEL A:
RESULTANT PARCEL CITY OF DUPONT LOT COMBINATION NO. LLE 15-01, RECORDED MARCH 13, 2015 UNDER RECORDING NO. 201503130126, RECORDS OF PIERCE COUNTY, WASHINGTON.

PARCEL B:
A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES AS CREATED BY INSTRUMENT RECORDED MARCH 13, 2005 UNDER RECORDING NO. 200505170142 AND AS DELINEATED ON SAD BOUNDARY LINE ADJUSTMENT RECORDED MARCH 21, 2007 UNDER RECORDING NO. 200703215003, IN PIERCE COUNTY, WASHINGTON.

HORIZONTAL DATUM - BASIS OF BEARINGS:
THE BASIS BEARINGS ARE THE BEARING BETWEEN WCCS POINTS 413 (GPS 031) AND 1130 (LEWIS GP 809), TAKEN AS SOUTH 02° 28' 12" EAST, BASED UPON THE NORTH AMERICAN DATUM OF 1983-NAD 83 (91) - WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

VERTICAL DATUM:
NATIONAL GEODETIC VERTICAL DATUM OF 1929 - NGVD 29
FROM DATA PROVIDED BY THE CITY OF DUPONT PLANNING DEPARTMENT - THE BENCHMARK IS THE SURFACE MONTE THE CENTERLINE OF THE INTERNATIONAL PLACE CUL-DE-SAC, TAKEN AS 221.82 FEET

PROCEDURE / NARRATIVE:
A FIELD TRAVERSE USING A TOPCON GT 1000 AND DELL TABLET WITH MAGNET FIELD WITH FIELD NOTES WAS PERFORMED, ESTABLISHING THE ANGULAR, DISTANCE, AND VERTICAL RELATIONSHIPS BETWEEN THE MONUMENTS, PROPERTY LINES AND IMPROVEMENTS. THE RESULTING DATA MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC 332-130-090.

LOT AREA:
232,834 SQ. FT. ± (5.35 ACRES±)

SITE ADDRESS:
3330 INTERNATIONAL PL, DUPONT, WA 98327

TITLE INFORMATION:
FIDELITY NATIONAL TITLE OF WASHINGTON, INC. ESCROW NO. 14255634-410-CFS, DATED MAY 16, 2012 WAS RELIED UPON FOR TITLE INFORMATION AND SUPPORTING DOCUMENTS. PLEASE REFER TO THAT REPORT FOR FURTHER INFORMATION REGARDING FINANCIAL MATTERS BEYOND THE SCOPE OF THIS SURVEY. DUE TO THE AGE OF THIS REPORT, THIS SURVEY DOESN'T PURPORT TO SHOW ALL EASEMENTS OF RECORD.

DATES OF SURVEYS:
THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MAY 4, 2020. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MAY OF 2020.

TAX ACCOUNT NUMBERS:
APN 300039-0282

SURVEYORS NOTES:
• ALL DISTANCES SHOWN HEREON ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET.
• UNDERGROUND UTILITIES AND FEATURES DEPICTED HEREON ARE BASED ON FIELD OBSERVATION ONLY. THE TRUE LOCATION, NATURE, AND/OR EXISTENCE OF BELOW GROUND FEATURES, DETECTED OR UNDETECTED, SHOULD NOT BE ASSUMED. THERE IS NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION CONCERNING OR BUILDING ADDITIONS WITHIN RECENT MONTHS. THERE IS NO EVIDENCE OF ANY CHANGES IN THE STREET RIGHT-OF-WAYS OR STREET/SIDEWALK REPAIRS OR ANY USE AS A LANDFILL.
• THIS SURVEY WAS PERFORMED WITHOUT A CURRENT TITLE REPORT AND DOESN'T PURPORT TO SHOW ALL EASEMENTS OF RECORD.

ESTIMATED EARTHWORK QUANTITIES

CUT = 7,000 CY

FILL = 8,000 CY

NET = +1,000 CY

AREA TO BE DISTURBED = 6.93 AC

CONTRACTOR SHALL REFER TO THE
GEOTECHNICAL REPORTS DATED MAY 12, 2020
FOR THIS SITE PREPARED BY TERRA ASSOCIATES
FOR GRADING RECOMMENDATIONS.

EARTHWORK QUANTITIES ARE FOR
PERMITTING PURPOSES ONLY AND SHALL
NOT BE USED FOR BIDDING PURPOSES.
CONTRACTOR SHALL PERFORM AN
INDEPENDENT ANALYSIS FOR THE PURPOSES
OF PREPARING THEIR BID.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT. POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION, THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AT LEAST 48 HOURS PRIOR TO POTHOLING. ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS ARE TO BE POTHOLED TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAW UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

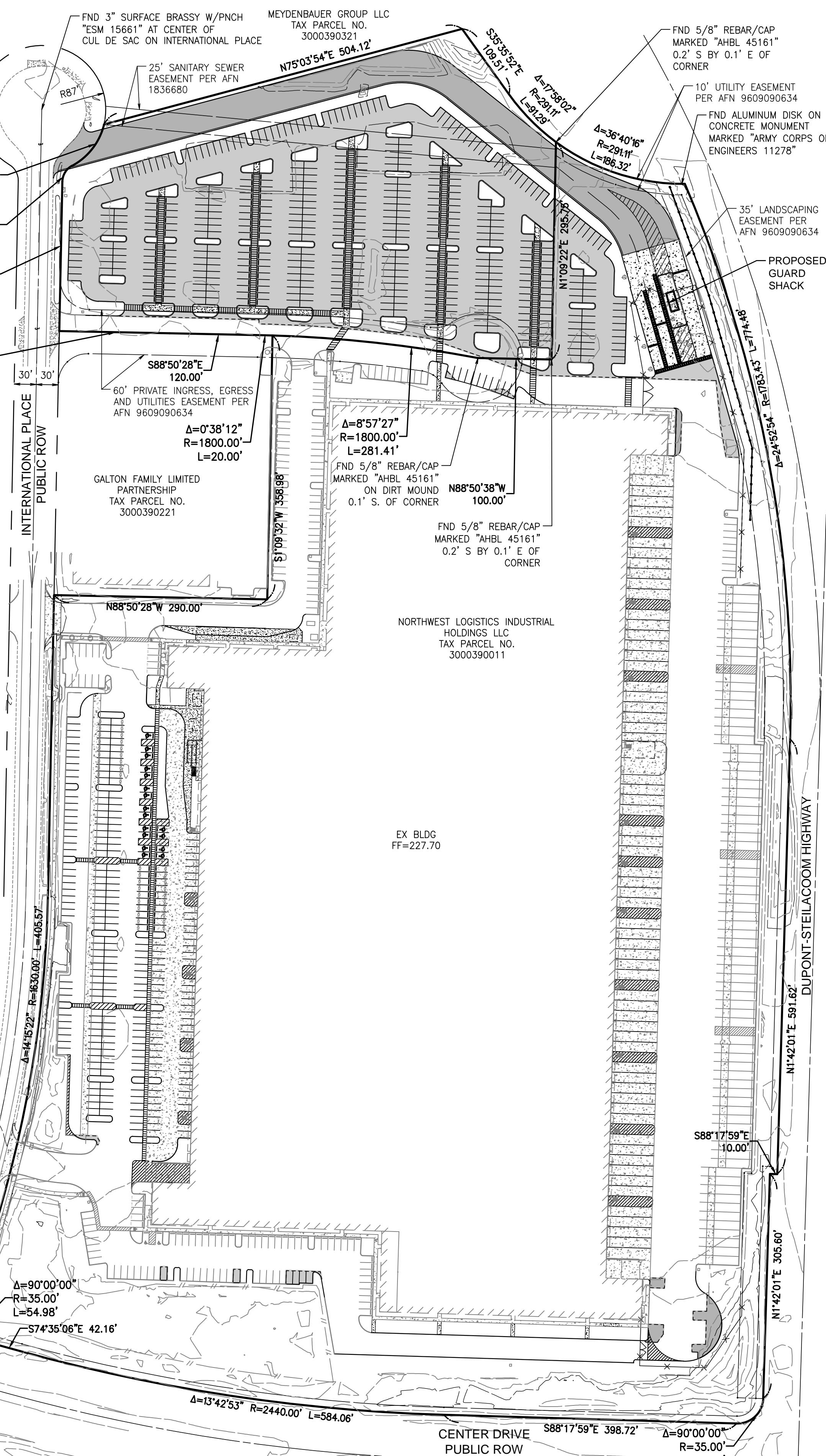
MONUMENT DEMOLITION NOTE

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

PRELIMINARY COVER SHEET

FOR
NW LOGISTICS 2 - PARKING EXPANSION

PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON



APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE:

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

Revision

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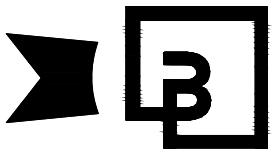
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Know what's **below**.
Call before you dig.

Know what's **below**.
Call before you dig.

A scale bar at the top of the page shows a horizontal line with tick marks and labels: 0, 30', 60', and 120'. Below the scale bar, the text 'SCALE: 1"=60'' is centered.

**PRELIMINARY OVERALL CIVIL SITE PLAN
FOR
NW LOGISTICS 2 - PARKING EXPANSION**

PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

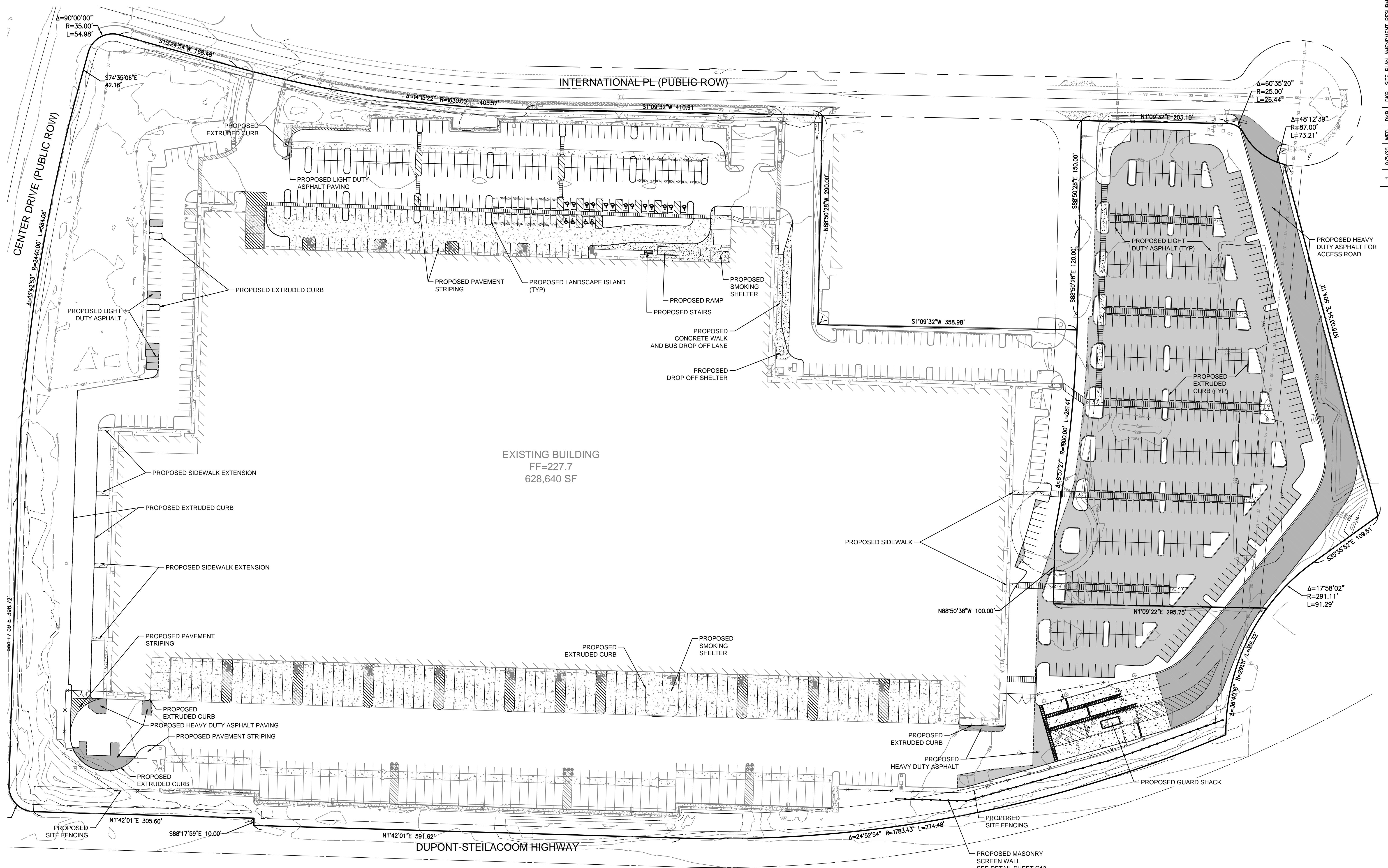
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____
CITY OF DUPONT

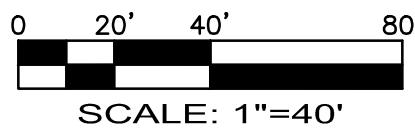
DATE:

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SITE DEVELOPMENT RECORDS						Revision
No.	Date	By	Ckd.	Appr.		
21227						
Title: PRELIMINARY OVERALL CIVIL SITE PLAN FOR NW LOGISTICS 2 - PARKING EXPANSION						
For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON						
 8/5/2020						
Job Number		Scale:				
21227		Designed <u>WED</u>	Drawn <u>WED</u>	Horizontal 1"=60'		
		Checked <u>LD</u>				
		Approved <u>DKB</u>		Vertical		
		Date <u>8/5/20</u>				-
Sheet						
C2 of 13						
Barghausen Consulting Engineers, Inc. 18115 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com						

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PRELIMINARY EXISTING CONDITIONS AND DEMO PLAN NORTH

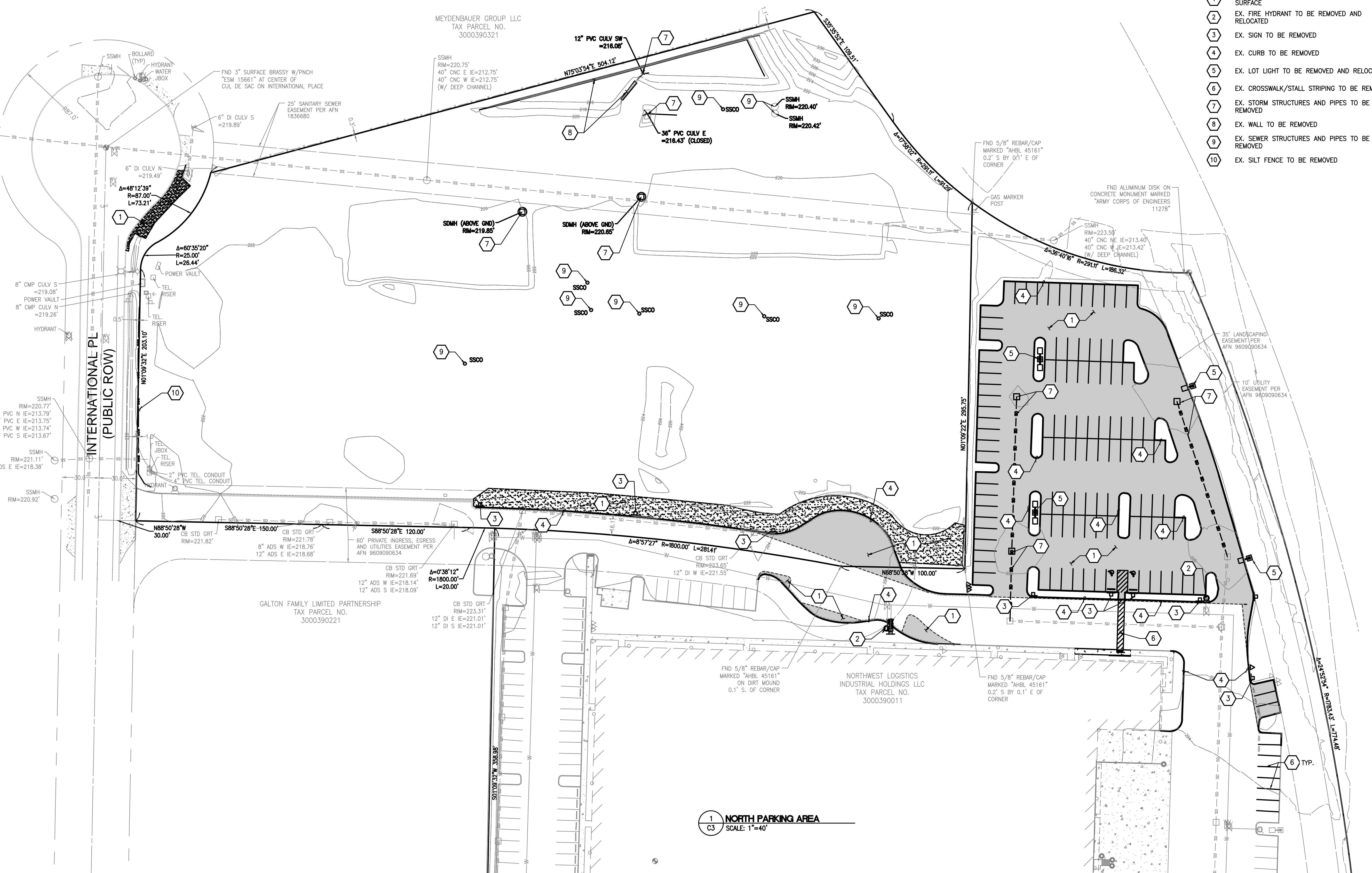
FOR
NW LOGISTICS 2 - PARKING EXPANSIONPTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PIERCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE:

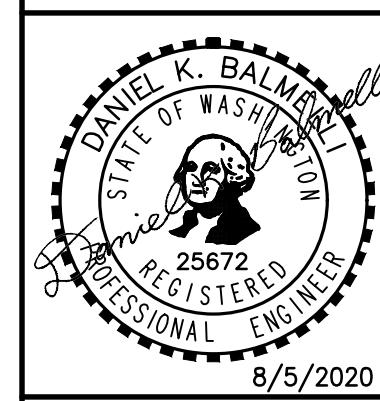
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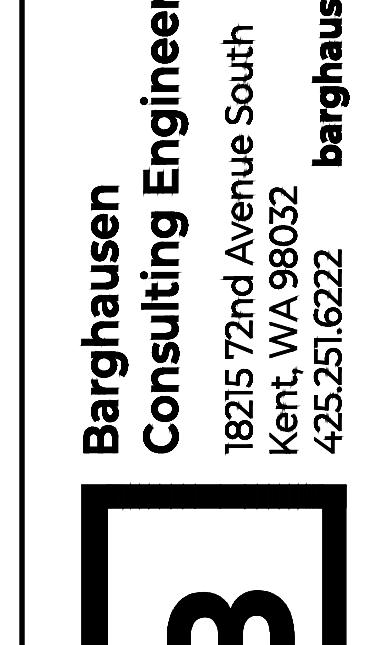
Revision

Title: PRELIMINARY EXISTING CONDITIONS AND DEMO PLAN NORTH FOR NW LOGISTICS 2 - PARKING EXPANSION

For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON

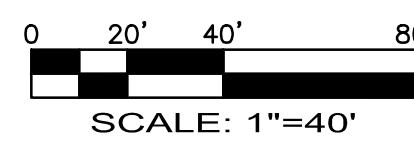


Job Number 21227
Sheet C3 of 13
Barghausen Consulting Engineers, Inc.
1821 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

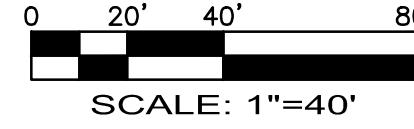


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PRELIMINARY TESC PLAN NORTH

FOR
NW LOGISTICS 2 - PARKING EXPANSIONPTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PIERCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE:

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Revision

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PRELIMINARY TESC PLAN NORTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION

Title:

PRELIMINARY TESC PLAN NORTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
INTERNATIONAL PL. (PUBLIC ROW)For:
PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON

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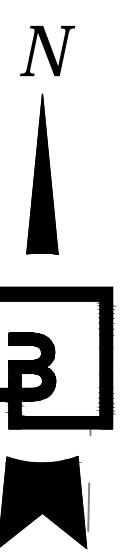
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Know what's **below**.
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PRELIMINARY TESC PLAN SOUTH

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NW LOGISTICS 2 - PARKING EXPANSION

PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____

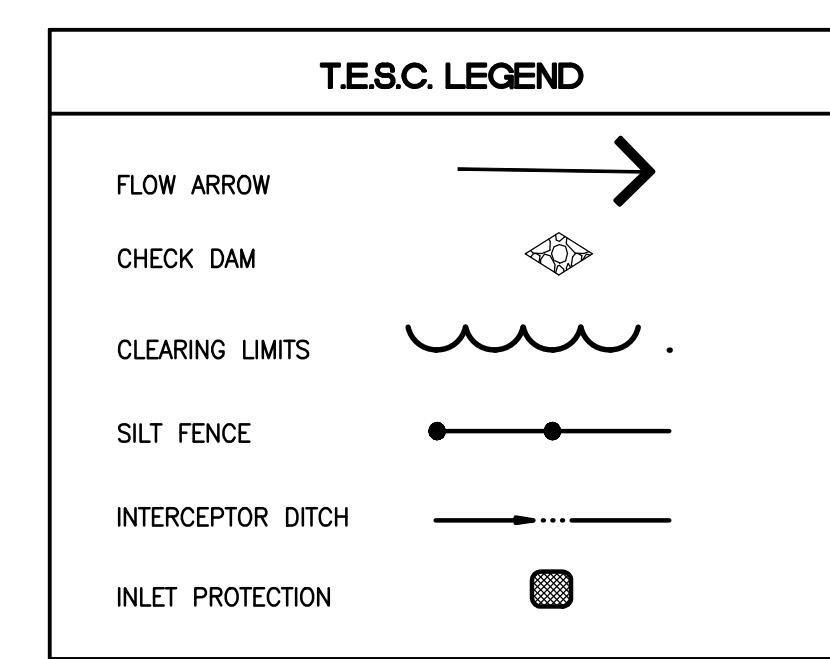
DATE

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INLET
(TYP.)
STANDARD
20-00

TEMPORARY INLET PROTECTION (TYP.)
PER WSDOT STANDARD
PLAN I-40.20-00

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NOTE:
CLEARING LIMITS ARE APPROXIMATE
LIMITS OF DISTURBANCE

SHEET 1 OF 13 - PRELIMINARY TESC PLAN SOUTH					
9/3/2020					
No.	Date	By	Ckd.	Appr.	Revision
<p>Title: PRELIMINARY TESC PLAN SOUTH</p> <p>For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON</p>					
<p>For:  8/5/2020</p>					
<p>Scale: Horizontal 1"=40' Vertical -</p>					
<p>Designed <u>WED</u> Drawn <u>WED</u> Checked <u>LD</u> Approved <u>DKB</u> Date <u>8/5/20</u></p>					
<p>Job Number 21227 Sheet 13</p> <p>Barghausen Consulting Engineers, Inc. 1821 5th Avenue South Seattle, WA 98102 425.251.6222 barghausen.com</p> <p>B</p>					



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PRELIMINARY TESC DETAILS

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NW LOGISTICS 2 - PARKING EXPANSION

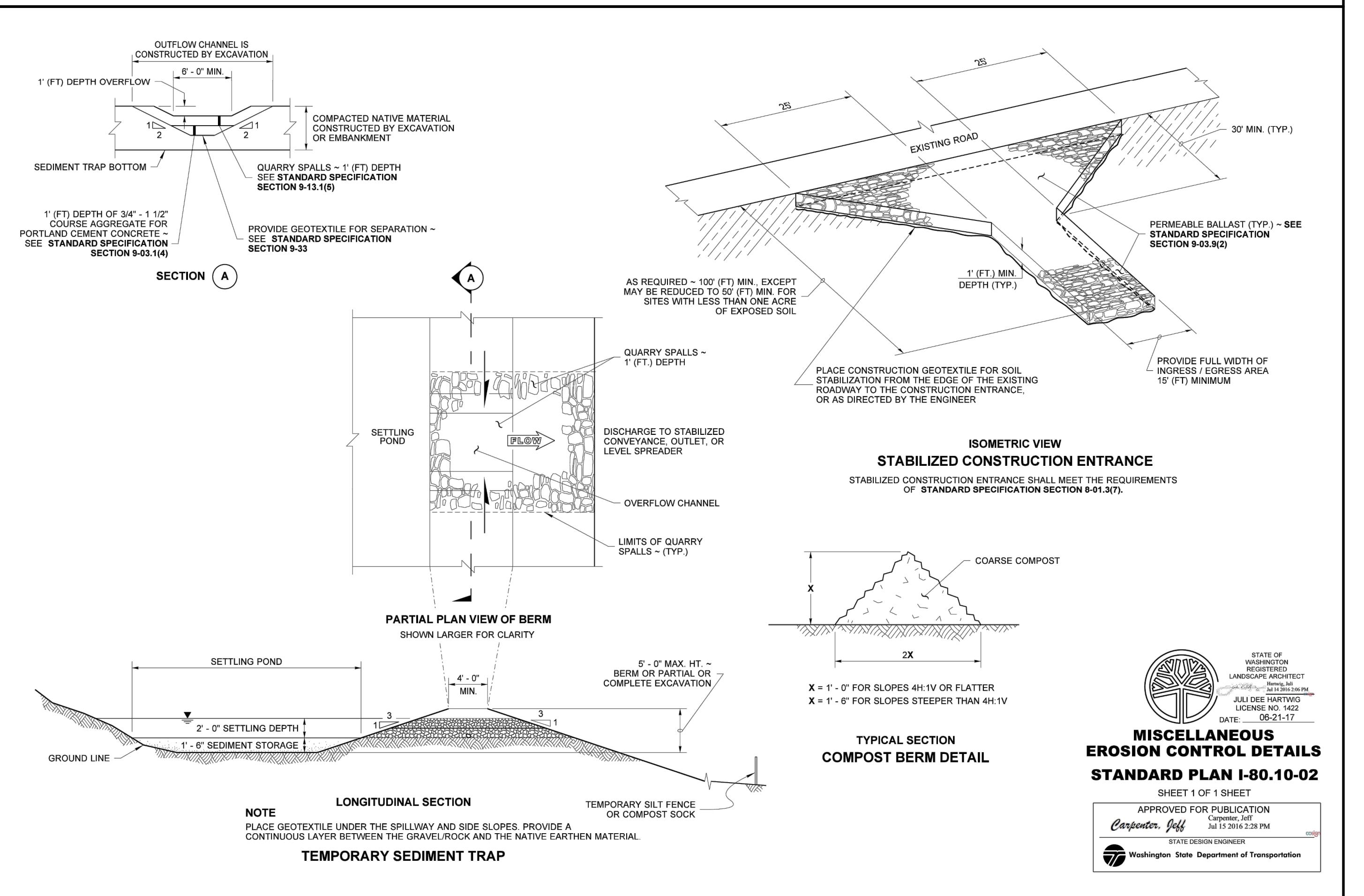
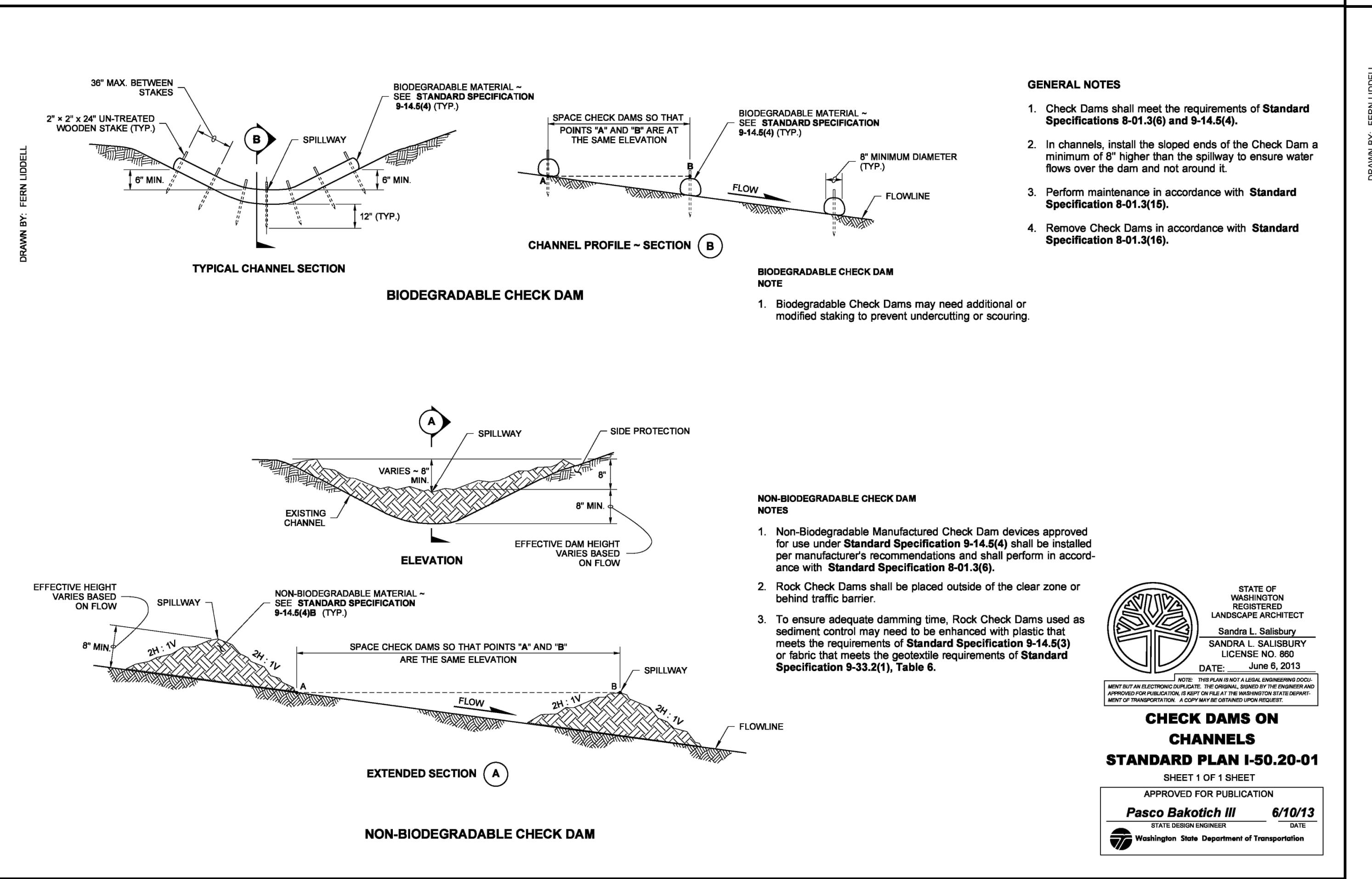
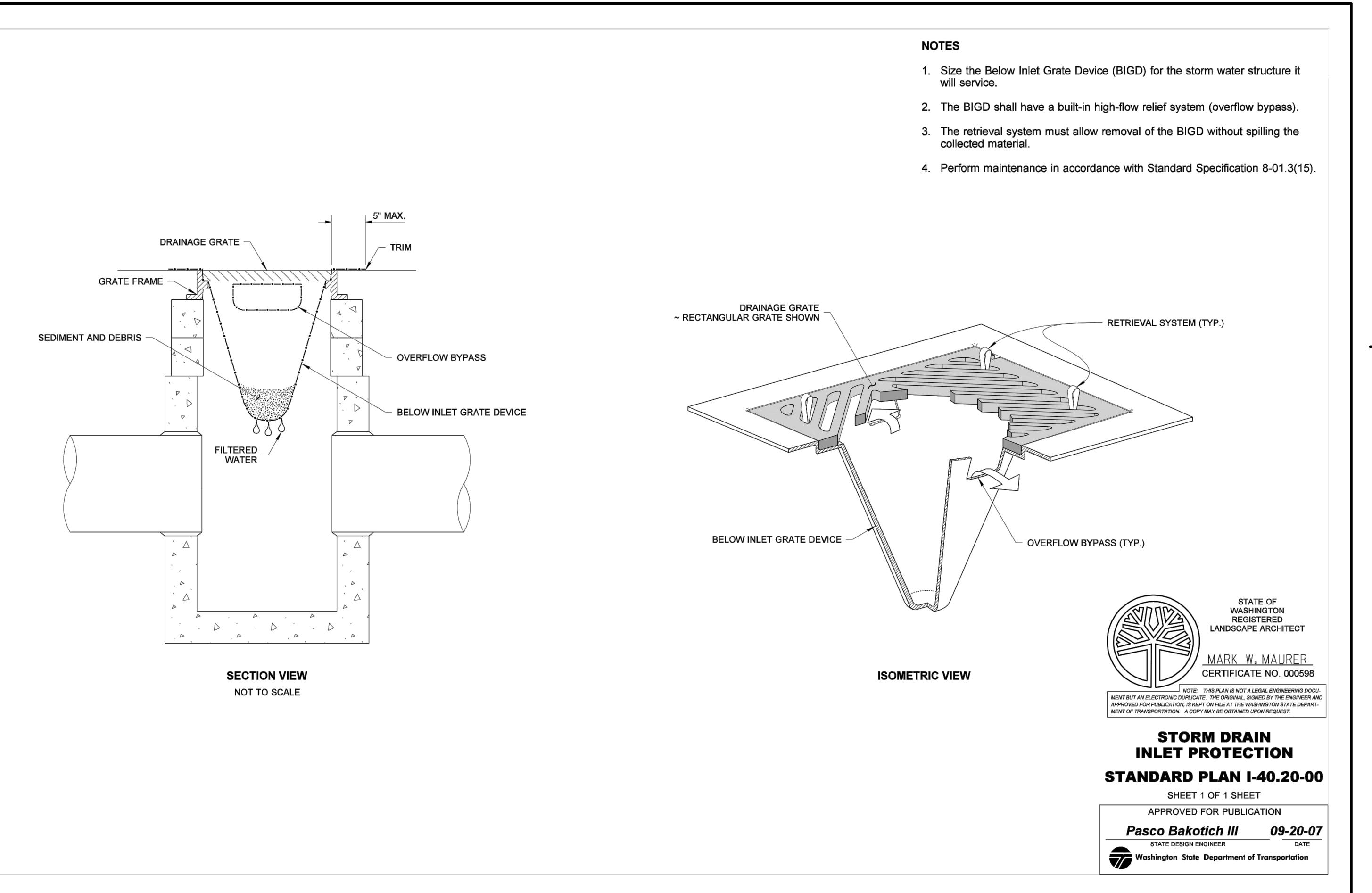
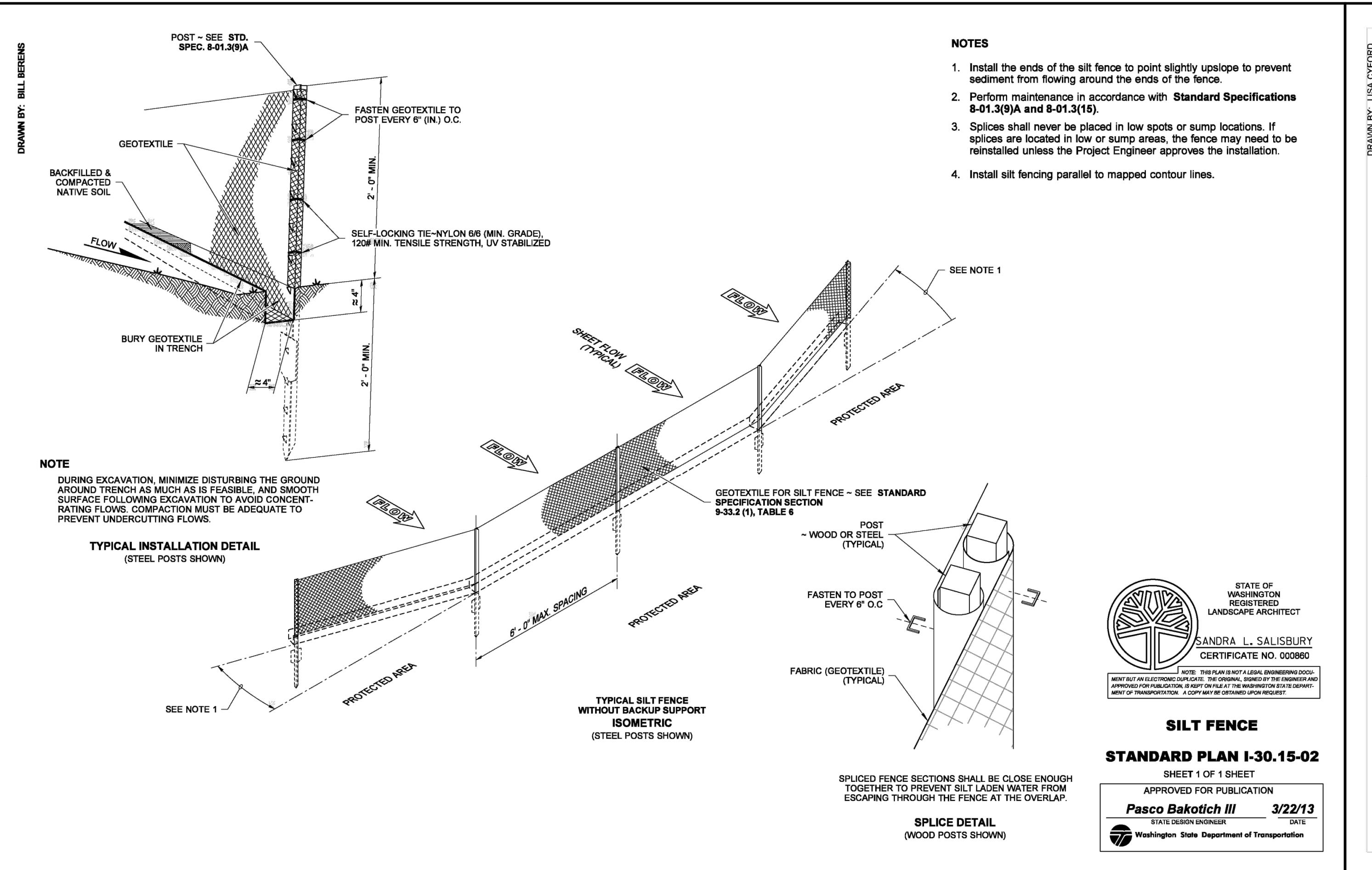
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

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Job Number							Title:				PRELIMINARY TESC DETAILS			
No.	Date	By	Ckd.	Appr.	DKB	SIE	PLAN	AMENDMENT	RESUBMITTAL	Revision				
21227														
Barghausen Consulting Engineers, Inc.							For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON							
 Barghausen Consulting Engineers, Inc. 1821 72nd Avenue South Kent, WA 98032 425.25.6222 barghausen.com							 8/5/2020							
Designed <u>WED</u> Drawn <u>WED</u> Checked <u>LD</u> Approved <u>DKB</u> Date <u>8/5/20</u>				Scale: Horizontal - Vertical -										
Sheet <u>1</u> of <u>3</u>														



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PRELIMINARY TESC NOTES AND DETAILS
FOR
NW LOGISTICS 2 - PARKING EXPANSION
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PIERCE COUNTY, STATE OF WASHINGTON

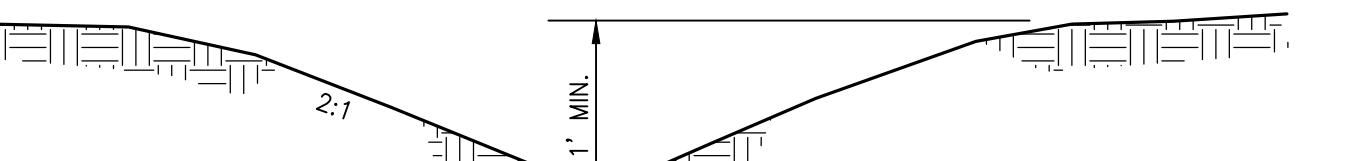
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By: CITY OF DUPONT
DATE:
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GRADING, EROSION AND SEDIMENTATION CONTROL NOTES:

- ON-SITE INSPECTIONS ARE REQUIRED AT THE FOLLOWING CONSTRUCTION STAGES:
 - INSPECTION NO. 1: INSTALLATION OF EROSION CONTROL FACILITIES PRIOR TO CLEARING
 - INSPECTION NO. 2: COMPLETION OF CLEARING
 - INSPECTION NO. 3: UPON COMPLETION OF EXCAVATION, FILLING, AND EARTHWORK
 - INSPECTION NO. 4: COMPLETION OF PROJECT
 - INSPECTION NO. 5: AS NEEDED TO DETERMINE COMPLIANCE WITH APPROVED PLANS AND/OR SPECIFICATIONS
- ALL LISTS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES, AND PROTECTIVE MEASURES FOR CRITICAL AREAS AND SIGNIFICANT TREES SHALL BE INSTALLED PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITIES.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER ANY EXISTING DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE MODIFIED TO ADDRESS THE SITUATION. CONTROL OF THE SITE DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THEIR ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 7 DAYS OR MORE DURING THE DRY SEASON (MAY 1 - SEPT 30) OR 2 DAYS OR MORE IN THE WET SEASON (OCT 1 - APR 30), SHALL BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF MAY THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT SHALL BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR SHALL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CONSTRUCTION SEQUENCE:

- SCHEDULE AND ATTEND PRE-CONSTRUCTION MEETING WITH CITY OF LAKWOOD OFFICIALS.
- FLAG CLEARING AND GRADING LIMITS FOR PROJECT AS SHOWN ON THE PLANS PER THIS SHEET.
- POST SIGN WITH NAME AND PHONE NUMBER OF THE CESCL.
- INSTALL TEMPORARY FILTER FABRIC FENCE AND CB PROTECTION AS SHOWN ON PLANS TO PROTECT ADJACENT PROPERTIES AND STORMWATER SYSTEM.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE PER PLAN.
- REMOVE ALL EXISTING SITE IMPROVEMENTS AND DEMO EXISTING BUILDINGS AS INDICATED ON PLANS.
- INSTALL TEMPORARY SEDIMENT POND.
- CONSTRUCT INTERCEPTOR DITCHES WHERE SHOWN.
- CITY REPRESENTATIVE TO INSPECT AND APPROVE INSTALLATION OF T.E.S.C. MEASURES BEFORE SITE CLEARING AND GRADING.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY AND NPDES PERMIT REQUIREMENTS.
- PROTECT ALL PROPERTIES ADJACENT TO THE PROJECT FROM SEDIMENT DEPOSITION.
- NO RUNOFF IS TO LEAVE SITE WITHOUT TREATMENT.
- CLEAR AND GRADE SITE, AMEND T.E.S.C. FACILITIES AS REQUIRED.
- ONCE INFILTRATION GALLERY IS OPEN TO BOTTOM ELEVATION, PERFORM INFILTRATION TEST(S) IN ACCORDANCE WITH PIERCE COUNTY STANDARDS TO CONFIRM INFILTRATION RATE OF 10 IN/HR.
- COVER ALL AREAS THAT WILL REMAIN UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- WHEREVER CONSTRUCTION VEHICLES ACCESS ROUTE CROSSSES PAVED ROADS, CARE MUST BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO PAVED SURFACE, THE ROAD SHALL BE CLEANED IMMEDIATELY.
- WITH EACH LAYER OF FILL MATERIAL, INTERCEPTOR DITCHES AND T.E.S.C. FACILITIES MUST BE GRADED AND MAINTAINED TO PROVIDE POSITIVE SLOPE FOR DRAINAGE TO DISCHARGE POINT.
- MAINTAIN T.E.S.C. FACILITIES UNTIL ALL RISK OF EROSION/SEDIMENTATION DRAINAGE HAS PASSED AND PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL. DO NOT CONVEY SEDIMENT-LADEN WATER INTO STORM DRAINAGE SYSTEM. REMOVE TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES UPON FINAL SITE STABILIZATION AND APPROVAL FROM THE CITY INSPECTOR.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE REVEGETATED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- COMPLETE INSPECTION/ PUNCHLIST



TEMPORARY "V" DITCH

NOT TO SCALE

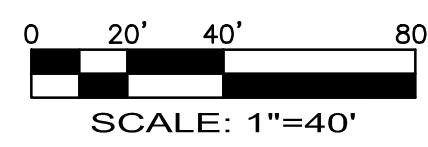
Job Number	Barghausen Consulting Engineers, Inc.	Designed		Drawn		Checklist	Approved	Date	Scale:
		WED	WED	WED	WED				
21227									Horizontal
									Vertical
Sheet									
C8	13								

For: PANATTONI DEVELOPMENT COMPANY
1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON

25670
REGISTERED
PROFESSIONAL
ENGINEER
Daniel K. Balm
State of Washington
8/5/2020

P:\Z\1000s\Z1227\preliminary\Z1227-E.dwg 6/30/2020 11:31 AM WDUNLAP

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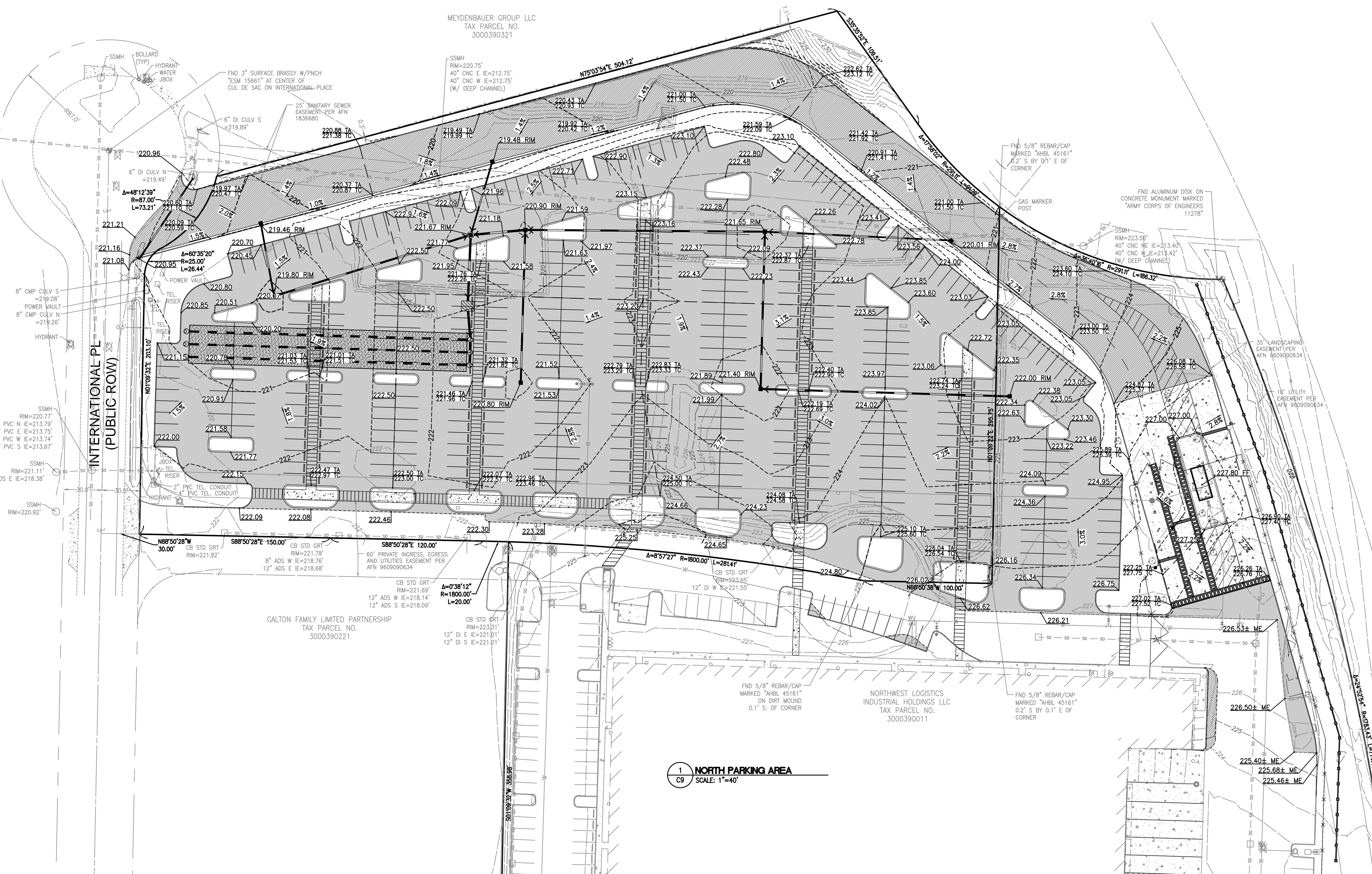
PRELIMINARY GRADING PLAN NORTH

FOR
NW LOGISTICS 2 - PARKING EXPANSIONPTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: CITY OF DUPONT

DATE:

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR
A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON.
THE CITY RESERVES THE RIGHT TO MAKE REVISIONS,
ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD
CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION.
THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO
LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

N

0 20' 40' 80'
SCALE: 1"=40'

Know what's **below**.
Call before you dig.

**PRELIMINARY GRADING PLAN SOUTH
FOR
NW LOGISTICS 2 - PARKING EXPANSION
N OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON**

PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT PIERCE COUNTY STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

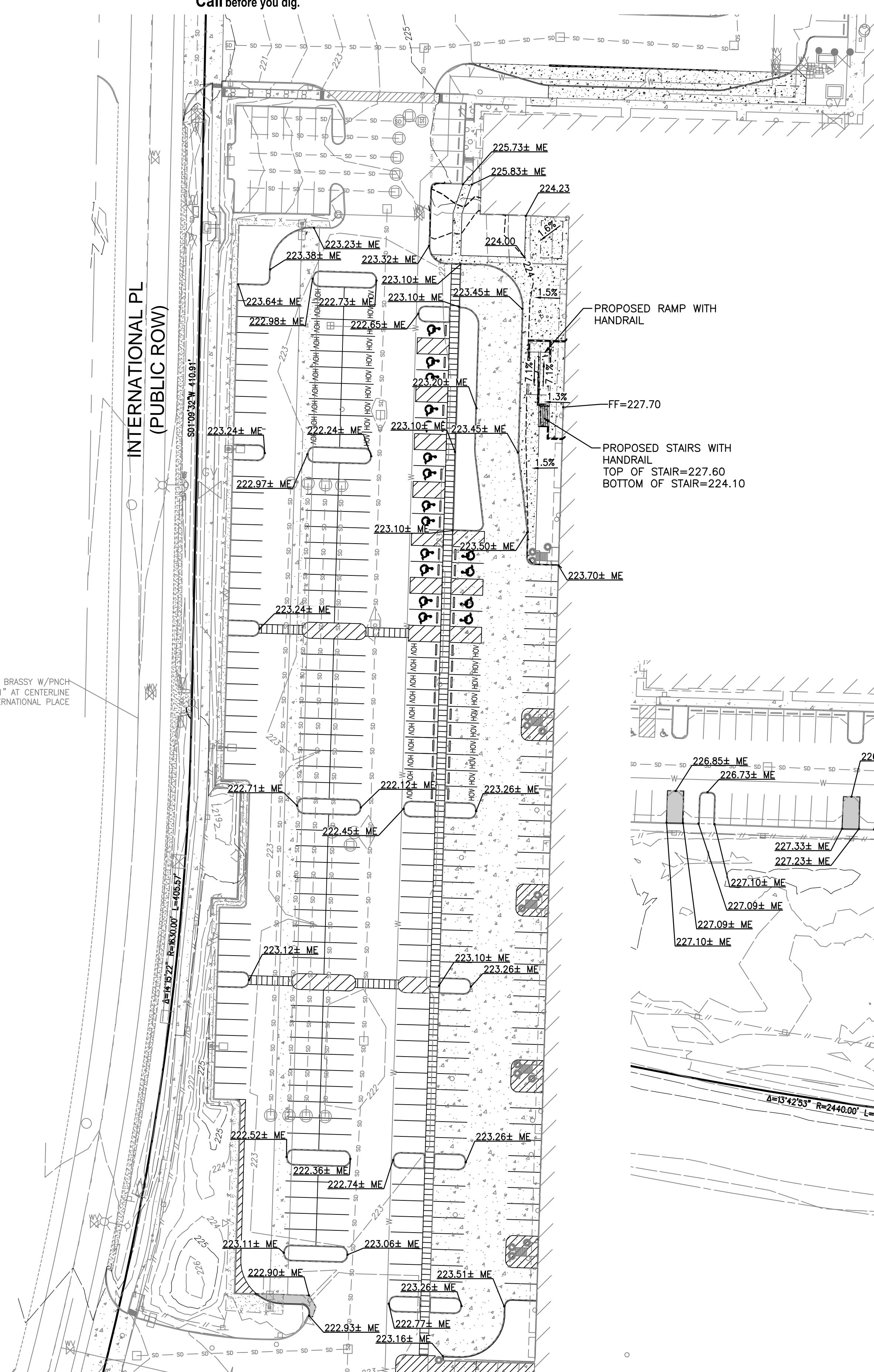
BY: _____
CITY OF DUPONT

DATE:

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR
A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON.
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Call before you dig.

FND 3" SURFACE BRASSY W/PNCH
"E.S.M. 15661" AT CENTERLINE
PT OF INTERNATIONAL PLACE



1 **WEST PARKING AREA**
C10 SCALE: 1"=40'

PROPOSED RAMP WITH
HANDRAIL

$F=227.70$

PROPOSED STAIRS WITH
HANDRAIL

TOP OF STAIR=227.60
BOTTOM OF STAIR=224.10

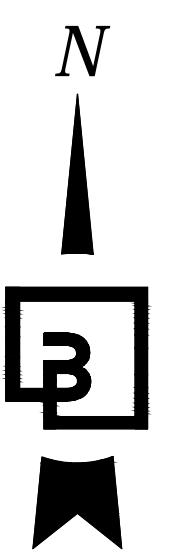
This figure is a topographic map of a construction site, likely a bridge or overpass, showing the following details:

- Survey Points:** Numerous points are marked with labels indicating their elevations relative to Mean Elevation (ME). These include:
 - 226.85 ± ME
 - 226.73 ± ME
 - 226.91 ± ME
 - 226.73 ± ME
 - 226.82 ± ME
 - 226.78
 - 226.67 ± ME
 - 227.33 ± ME
 - 227.23 ± ME
 - 227.10 ± ME
 - 227.19 ± ME
 - 227.21 ± ME
 - 227.05
 - 227.10
 - 227.10 ± ME
 - 226.86 ± ME
 - 227.47 ± ME
 - 227.23
 - 227.3
 - 226.77 ± ME
 - 226.48 ± ME
 - 226.74 ± ME
- Vertical Datum:** The vertical datum is indicated by a line of points labeled "SD" (Survey Datum) and "W" (Water Level). A legend at the top left shows a line with "SD" and a line with "W" next to a box containing "SD".
- Coordinate System:** A coordinate system is located in the bottom left corner with the following values:
 - $A = 13^\circ 42' 53''$
 - $R = 2440.00'$
 - $L = 584.06'$
- Topography:** The map shows various levels (226, 227, 228, 229) and terrain features, including a large embankment on the left and a valley on the right.

224 CENTER DRIVE (PUBLIC ROW)

SOUTH PARKING AREA
SCALE: 1"=40'

PRELIMINARY GRADING PLAN							SITE PLAN AMENDMENT RESUBMITTAL				
Job Number		No.			8/5/20	WED	DKB	DKB	SITE PLAN	AMENDMENT	RESUBMITTAL
21227		Sheet			Date	By	Ckd.	Appr.	Revision		
<p>Title: PRELIMINARY GRADING PLAN</p> <p>For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON</p> <p>Job Number: 21227</p> <p>Sheet:</p> <p>Design: BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com</p> <p>Scale: Horizontal 1"=40' Vertical -</p> <p>Drawn: WED Checked: WED Approved: DKB Date: 8/5/20</p> <p>Stamp: DANIEL K. BALM STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER 25672 NOV 12 2011 Signature: Daniel K. Balmelli</p> <p>Signature: 8/5/2020</p>											



Know what's **below**.
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PRELIMINARY UTILITY PLAN

FO

NW LOGISTICS 2 - PARKING EXPANSION

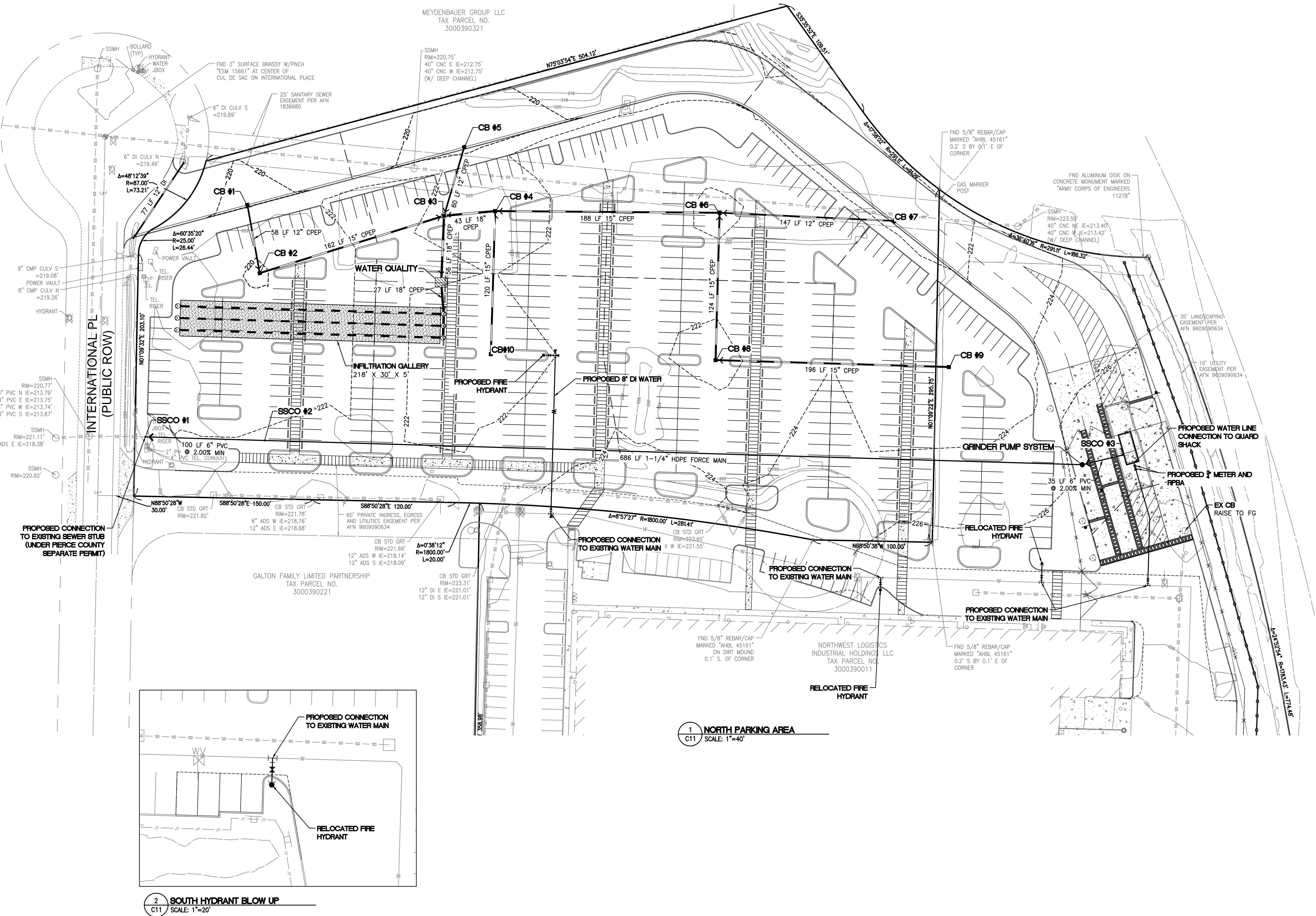
PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____
CITY OF BURDENT

DATE:

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.



PRELIMINARY UTILITY PLAN						
1 8/5/20 WED DKB DKB SITE PLAN AMENDMENT RESUBMITTAL						
No. Date By Ckd. Appr. Revision						
<p>For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON</p> <p>Title: PRELIMINARY UTILITY PLAN</p> <p>For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON</p> <p>For: PANATTONI DEVELOPMENT COMPANY 1821 DOCK ST. SUITE 100 TACOMA, WA 98402 CONTACT: BRIAN MATTSON</p>						
<p>Designed <u>WED</u> Drawn <u>WED</u> Checked <u>LD</u> Approved <u>DKB</u> Date <u>8/5/20</u></p> <p>Scale: <u>Horizontal</u> <u>1"=40'</u> <u>Vertical</u> <u>-</u></p>						
<p>Barghausen Consulting Engineers, Inc. 1825 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com</p>						
<p></p>						
<p>Job Number: 21227 Sheet: C1 13</p>						



Know what's below.
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PRELIMINARY CONSTRUCTION NOTES AND DETAILS

FOR NW LOGISTICS 2 - PARKING EXPANSION

PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 24, TWP. 19 N., RGE 1 EAST, W. M.
CITY OF DUPONT, PEIRCE COUNTY, STATE OF WASHINGTON

APPROVED FOR CONSTRUCTION

BY: _____

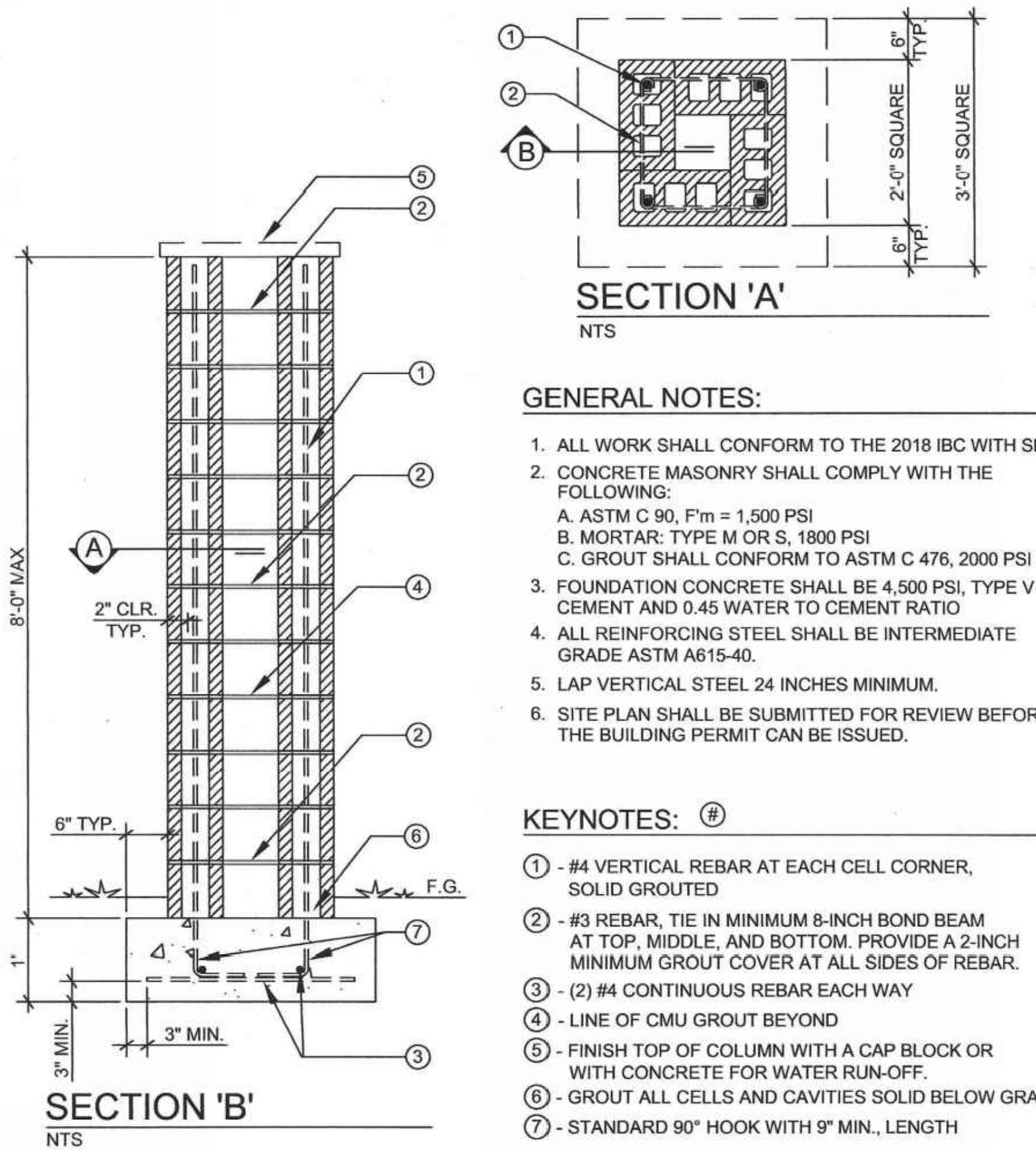
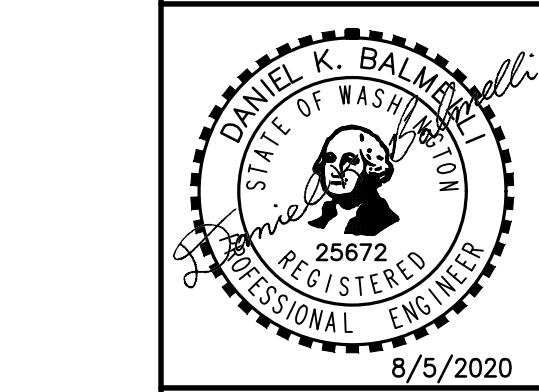
CITY OF DUPONT

DATE: _____

THESE DRAWINGS ARE APPROVED FOR CONSTRUCTION FOR A PERIOD OF 12 MONTHS FROM THE DATE SHOWN HEREON. THE CITY RESERVES THE RIGHT TO MAKE REVISIONS, ADDITIONS, DELETIONS OR MODIFICATIONS SHOULD CONSTRUCTION BE DELAYED BEYOND THIS TIME LIMITATION. THE CITY, BY APPROVING THESE DOCUMENTS, ASSUMES NO LIABILITY IN REGARDS TO THEIR ACCURACY OR OMISSIONS.

Title: PRELIMINARY CONSTRUCTION NOTES AND DETAILS FOR NW LOGISTICS 2 - PARKING EXPANSION					
No.	8/5/20	WED	DKB	SITE PLAN AMENDMENT RESUBMIT	Rev.

1821 DOCK ST. SUITE 100
TACOMA, WA 98402
CONTACT: BRIAN MATTSON



REQUIRED INSPECTIONS: (SPECIAL INSPECTION - NONE REQUIRED)

- FOUNDATION
- MASONRY PREGROUT
- FINAL

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE 2018 IBC 2018 EDITION AS AMENDED
- CONCRETE BLOCK MASONRY SHALL COMPLY WITH THE FOLLOWING:
 - A. CONCRETE MASONRY SHALL CONFORM TO ASTM C 90, F'm = 1500 PSI
 - B. MORTAR: TYPE M - 2500 PSI OR TYPE S - 1800 PSI
 - C. GROUT CONFORMS TO ASTM C 476, MIN. 2000 PSI
- THE ULTIMATE COMPRESSIVE STRENGTH REQUIRED FOR FOUNDATION CONCRETE SHALL BE OF 4500 PSI, TYPE V CEMENT, AND 0.45 WATER TO CEMENT RATIO.
- ALL REINFORCING STEEL SHALL BE GRADE 60, ASTM A615, MIN. LAP SPLICE = 24"
- FOR RETAINING WALL, PROVIDE 1CF/FT OF CLEAN COARSE GRAVEL WITH 2" DIAMETER WEEP HOLES THROUGH THE WALL AND LINED WITH PVC PIPE AT 8'-0" O.C. ALONG WALL AND PLACED 3" ABOVE THE LOWEST ADJACENT FINISHED GRADE.
- SITE PLAN SHALL BE SUBMITTED FOR REVIEW BEFORE THE PERMIT CAN BE ISSUED
- CONTROL JOINT SPACING AT 24 FEET (MAX). VERTICAL REBARS SHALL BE LOCATED WITHIN 16 INCHES OF THE END.
- GROUT ALL CELLS CONTAINING REINFORCEMENT. LOWER STEM IS SOLID GROUTED.
- 3 INCHES COVER FOR ALL REBAR IN FOOTING (TYPICAL).
- WATERPROOF THE INSIDE FACE OF ALL RETAINING WALLS PER 1805.3 OF 2018 IBC.

DESIGN CRITERIA

2018 IBC WITH SNA, NV AMENDMENTS

WIND LOAD

BASIC WIND SPEED = 95 MPH, EXPOSURE C

Kz = 0.85

Ke = 1.0

Kd = 0.85

Cf = 1.4

G = 0.85

SEISMIC LOAD

DESIGN SPECTRAL RESPONSE Sd = 0.574g

SEISMIC COEFFICIENTS R = 1.25 (ASCE 7-16, T-15.4-2)

Cs = 0.46

SEISMIC LOAD DUE TO LATENT EARTH PRESSURE

= 10.4H (LBS) THE POINT OF APPLICATION IS TAKEN

AT 10% ABOVE THE BASE OF THE WALL, WHERE H IS

THE HEIGHT OF THE BACKFILL

SOIL PARAMETER

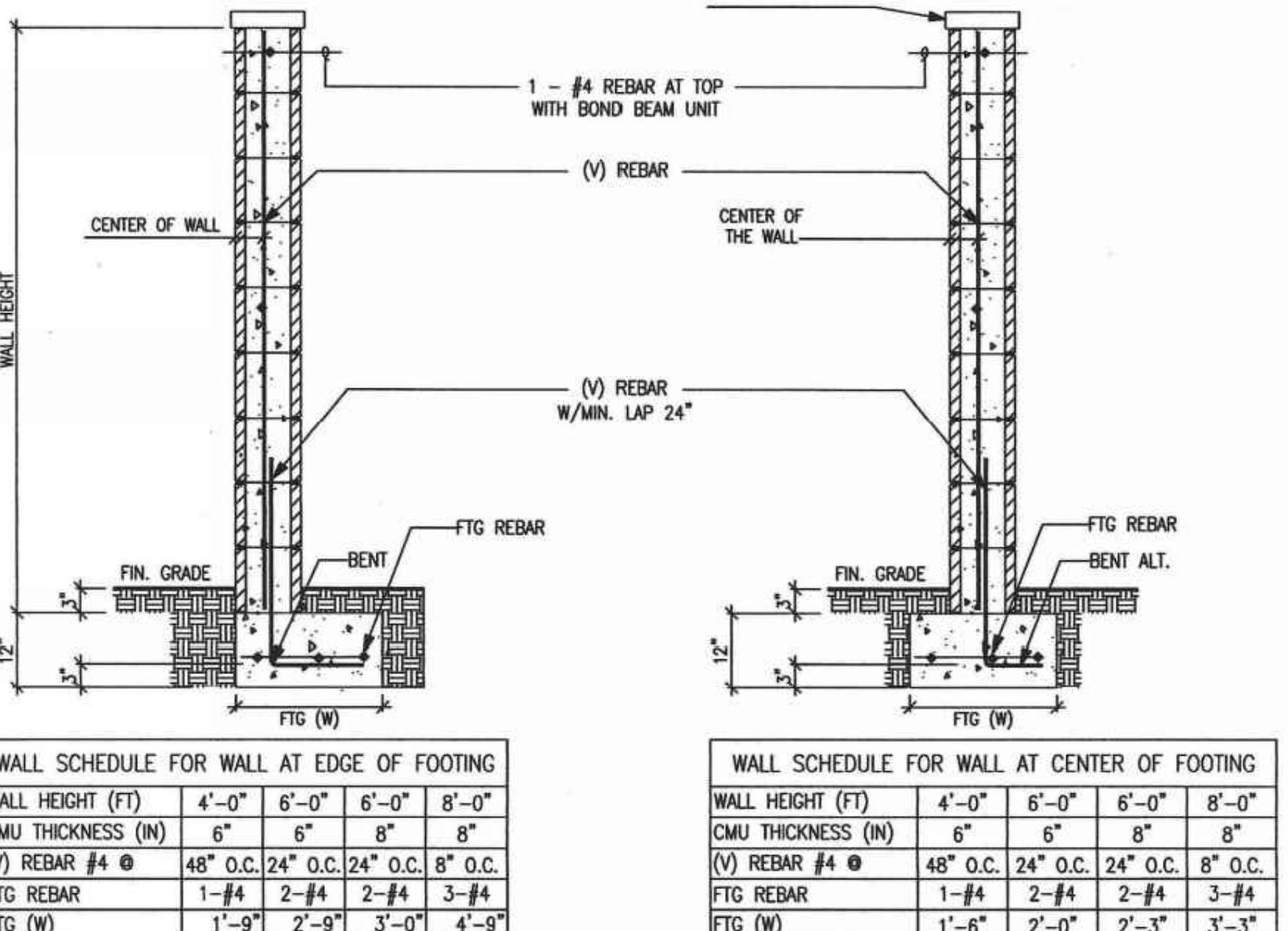
SITE CLASS = D

ALLOWABLE SOIL BEARING PRESSURE = 1000 PSF

LATERAL EQUIVALENT FLUID PRESSURE OF 45 PSF/FT

PASSIVE PRESSURE = 100 PSF

COEFFICIENT OF FRICTION FOR SLIDING = .25



MASONRY SCREEN WALL DETAIL

NTS

Job Number
21227
Barghausen
Consulting Engineers, Inc.
1821 72nd Avenue South
Kent, WA 98032
425.251.6222
Sheet
C13
13

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8/5/2020 7:51 AM
WIDUNAP